

NOTES:
 1. IN ISOMETRIC VIEWS, NOT ALL STRUCTURAL ELEMENTS ARE SHOWN. SEE FRAMING PLANS FOR ALL STRUCTURAL ELEMENTS.

MASON CITY CONDOMINIUM DEVELOPMENT

PROJECT:	CEE-4860
DATE:	05/04/2018
DRAWN BY:	DHNU ENGINEERS
REVISION:	

THE UNIVERSITY OF IOWA
CIVIL AND ENVIRONMENTAL ENGINEERING
 4105 SEAMANS CENTER FOR THE
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 EMAIL: civil-hawks@iuiowa.edu

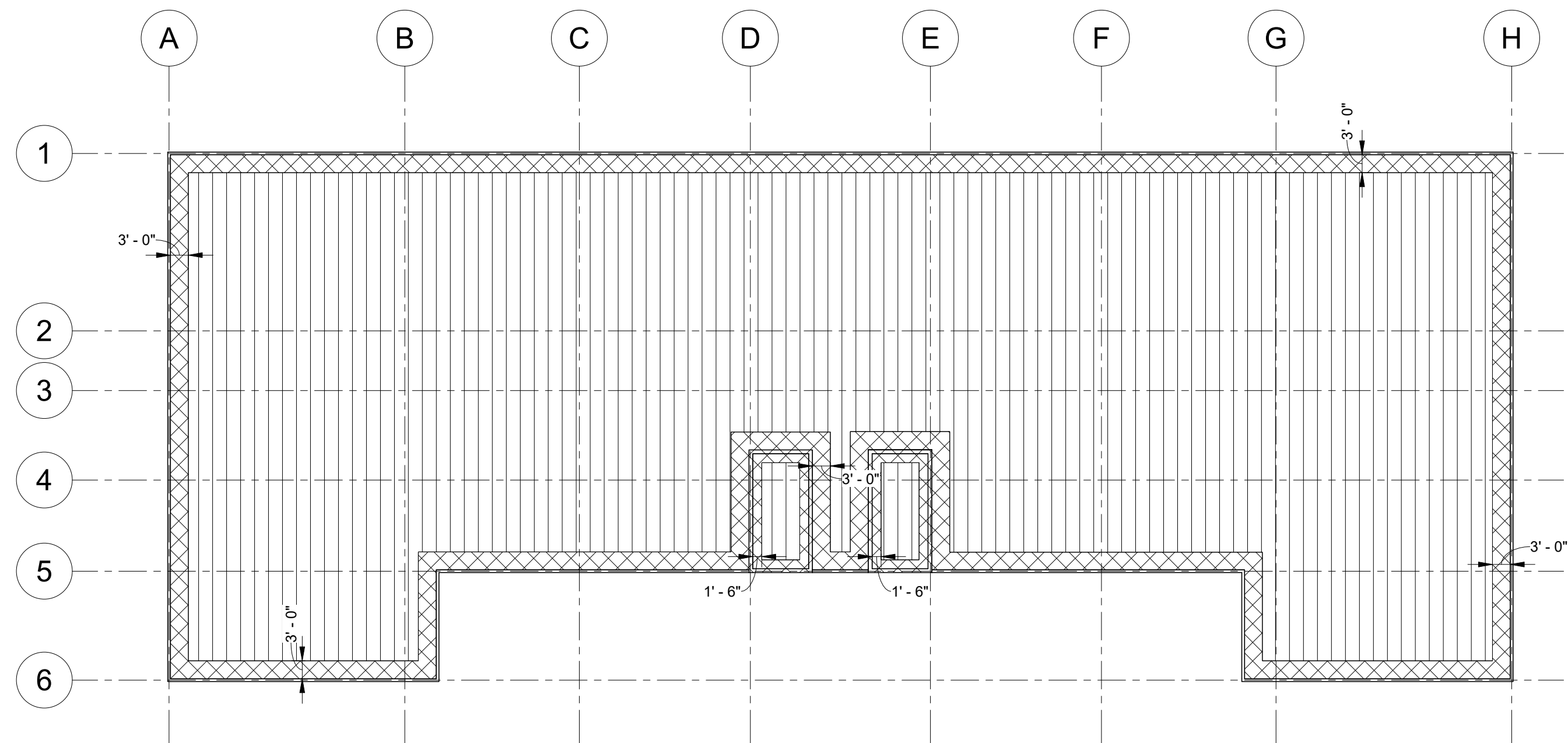


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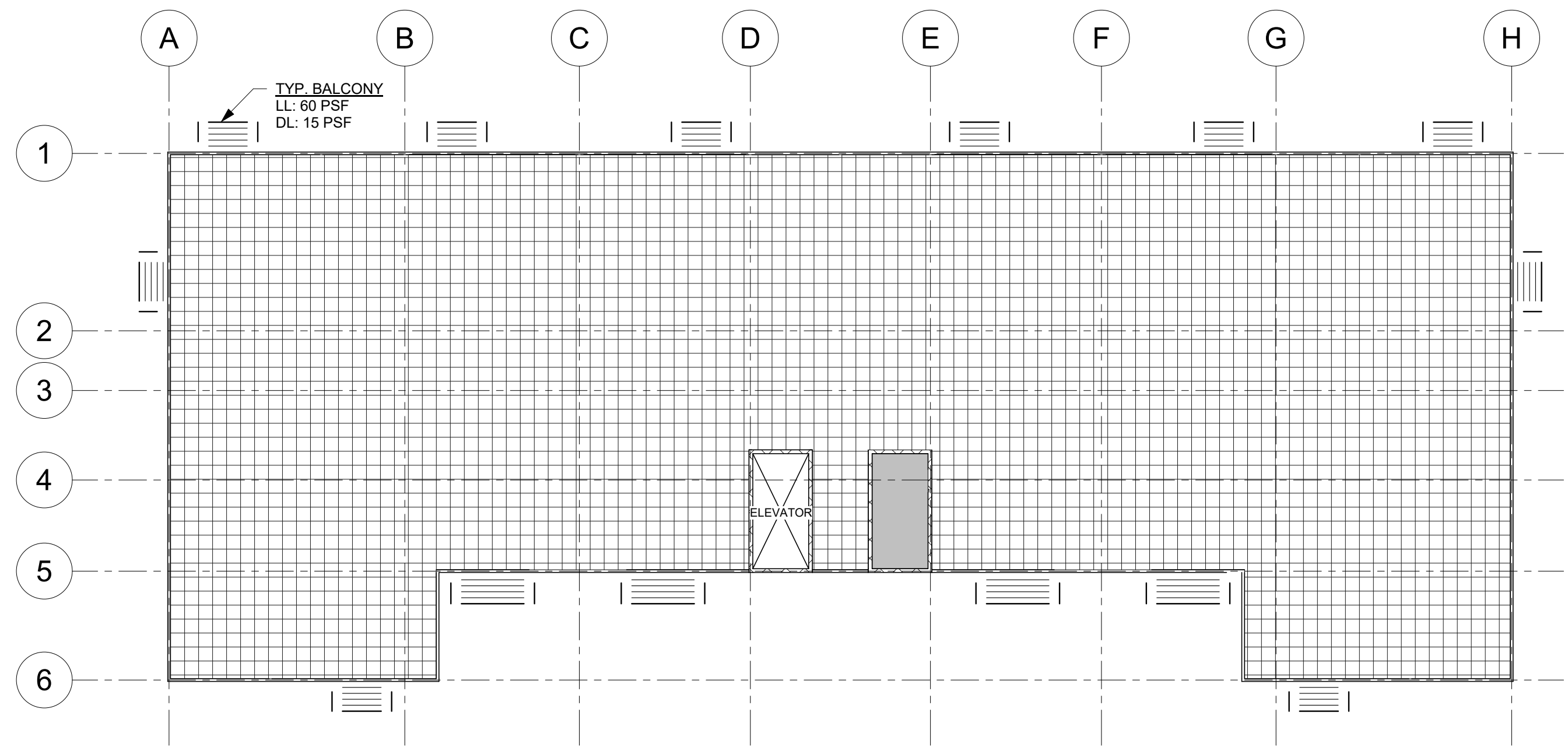
CONDOMINIUM DEVELOPMENT

540 4TH ST NE
 MASON CITY, IA 50401

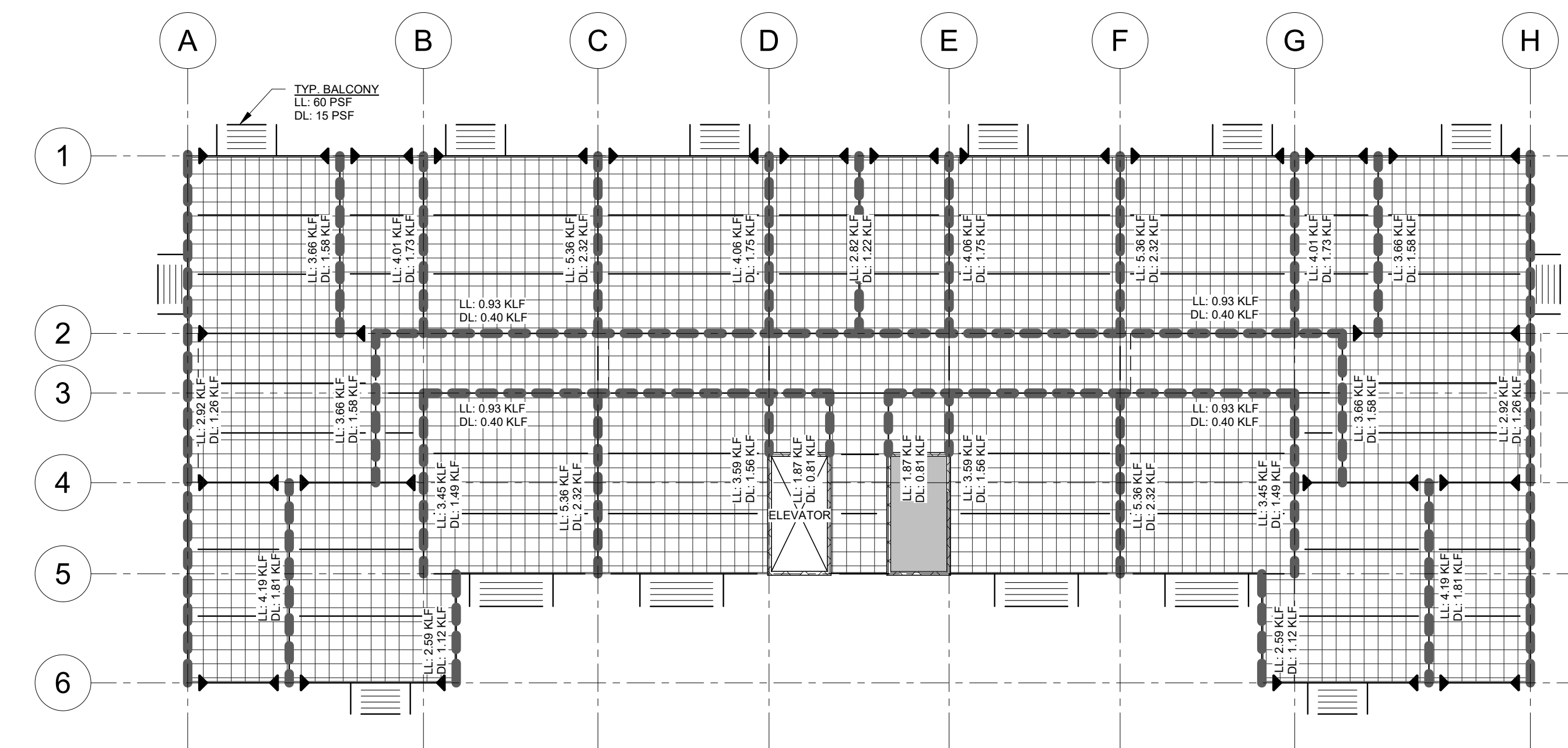
SHEET NAME	COVER PAGE
SHEET NO.	S.0



1. LOADING DIAGRAM - ROOF
1 : 225



2. LOADING DIAGRAM - TYP FLOOR
1 : 225

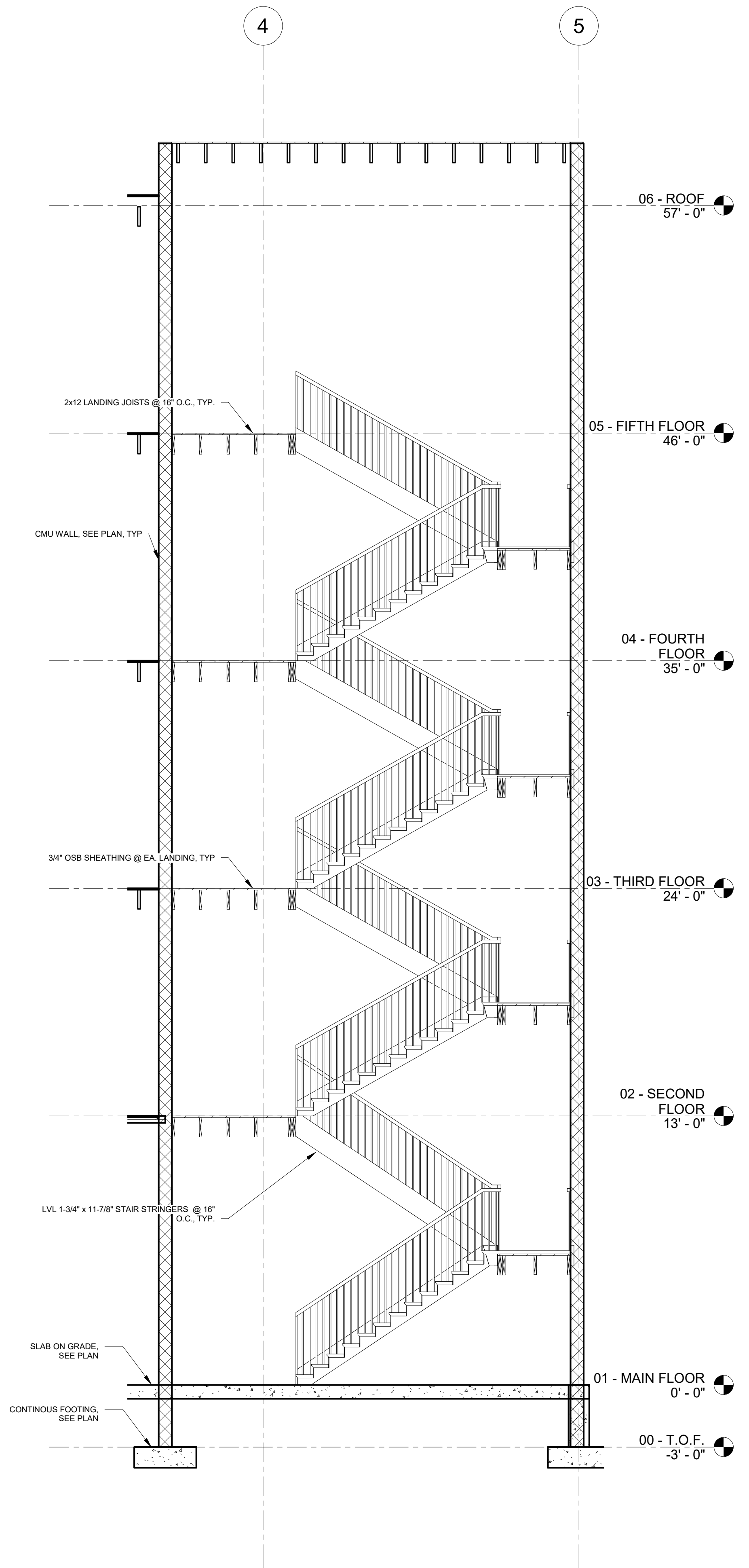


3. LOADING DIAGRAM - STEEL
1 : 225

LOADING DIAGRAM SCHEDULE			
MARK	LL	DL	NOTES
	25	20	@ ROOF
	35	20	@ ROOF w/ SNOW DRIFT
	40	15	@ TYP. FLOOR
	100	15	@ STAIRS

NOTES:
1. ALL LOADS SHOWN ARE GRAVITY LOADS ONLY
2. LENGTH OF SNOW DRIFT SHOWN BY DIMENSION ON PLAN
3. DASHED LINES ONLY SHOW LOADING FROM BEARING WALLS. STEEL WITHOUT LOADING FROM BEARING WALLS
STILL SUPPORTS DEAD LOAD OF WALL ABOVE

4. STAIR ELEVATION
1 : 45



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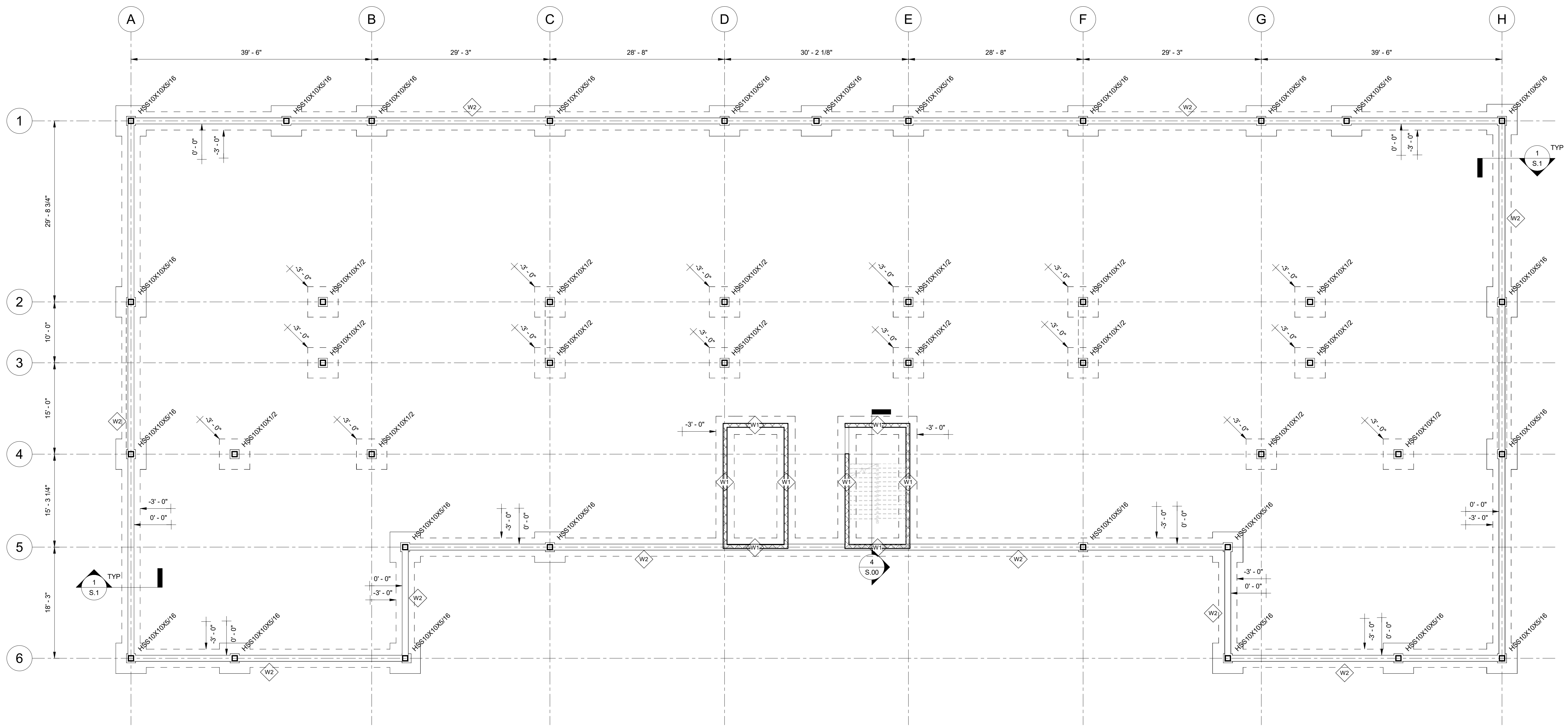
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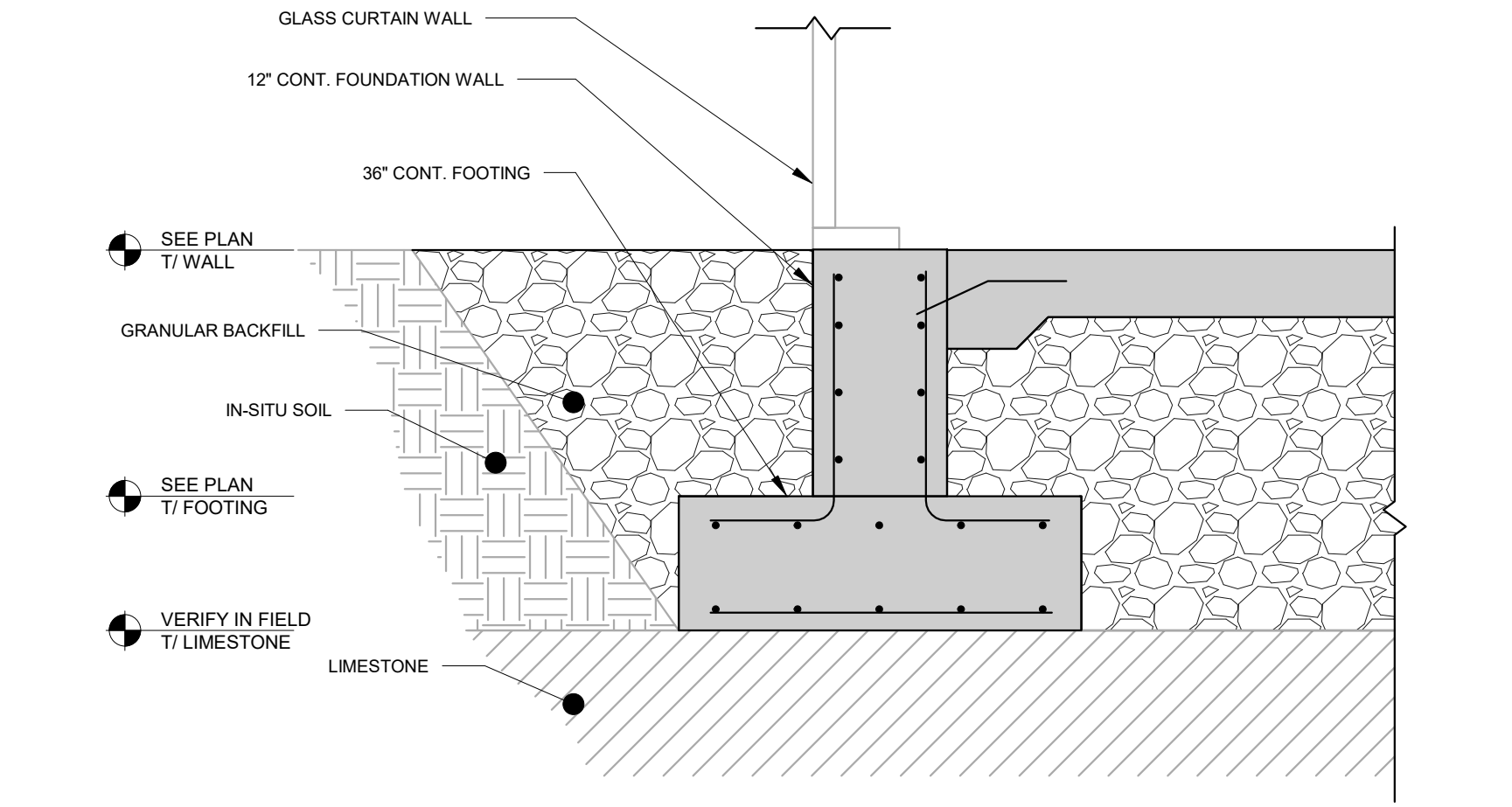
LOADING DIAGRAMS

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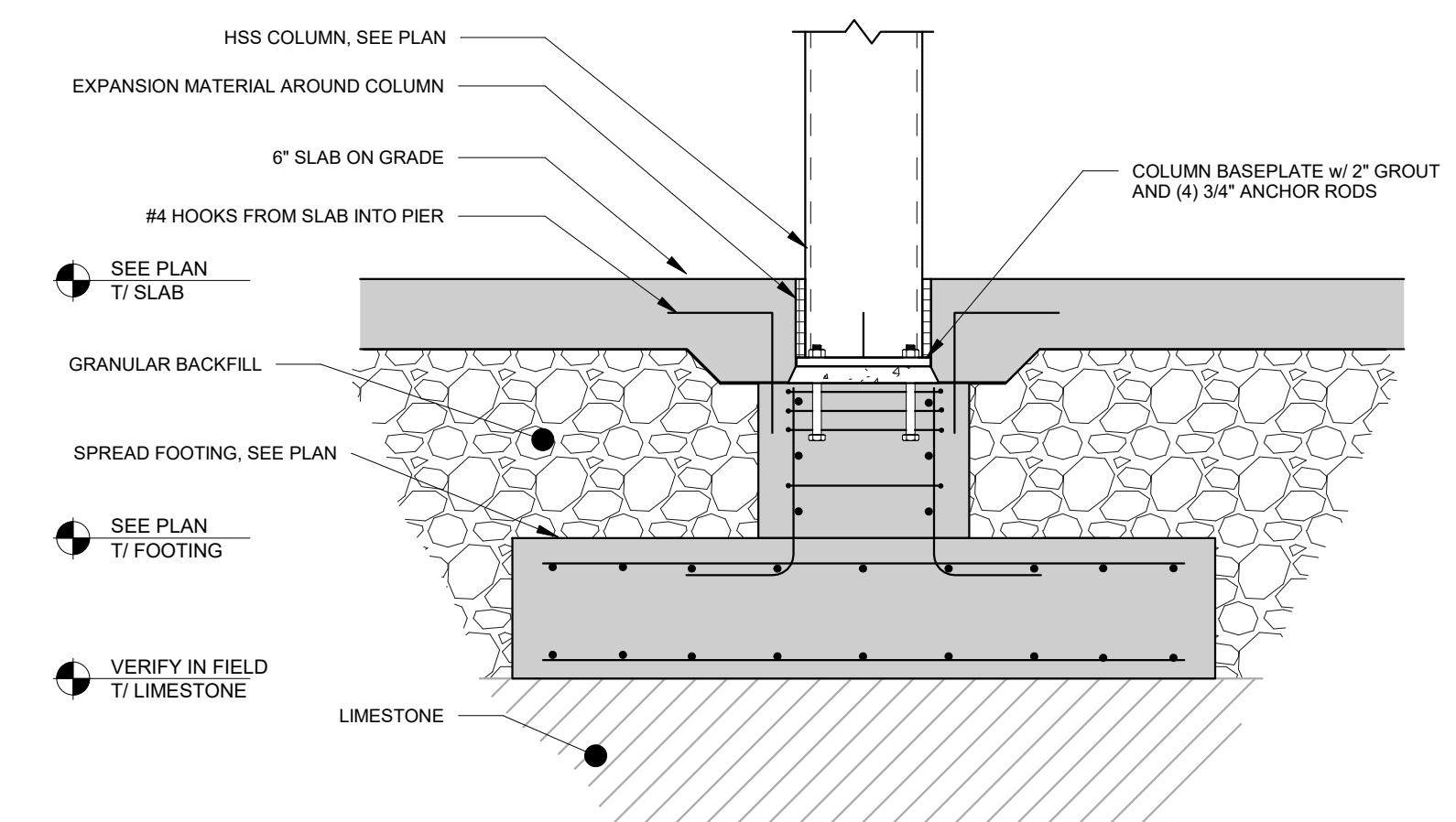
S.00



A 01- FOUNDATION PLAN
1 : 100



1 FOUNDATION WALL DETAIL
1 : 15



2 SPREAD FOOTING DETAIL
1 : 15

FOOTING SCHEDULE				
MARK	SIZE	TOP MAT	BOTTOM MAT	NOTES
SF1	SPREAD FOOTING: 60"x60"x12" (BxWxT)	#5 @ 9" O.C. BOTH WAYS	#5 @ 9" O.C. BOTH WAYS	@ COLUMNS
CF1	CONTINUOUS FOOTING: 36"x12" (BxT)	---	(3) #5 CONT.	@ FOUNDATION PERIMETER

NOTES:
1. ALL SPREAD FOOTINGS ARE SF1 AND ALL CONTINUOUS FOOTINGS ARE CF1 U.N.O.

CONCRETE & CMU WALL SCHEDULE				
MARK	SIZE	HORIZONTAL REINF.	VERTICAL REINF.	NOTES
W1	CMU: 12" THICK	LADDER TYPE @ 18" O.C.	GROUT + (1) #5 @ 32" O.C.	@ STAIRS & ELEVATOR
W2	CONCRETE: 12" THICK	#5 @ 12" O.C.	#5 @ 12" O.C.	@ FOUNDATION PERIMETER

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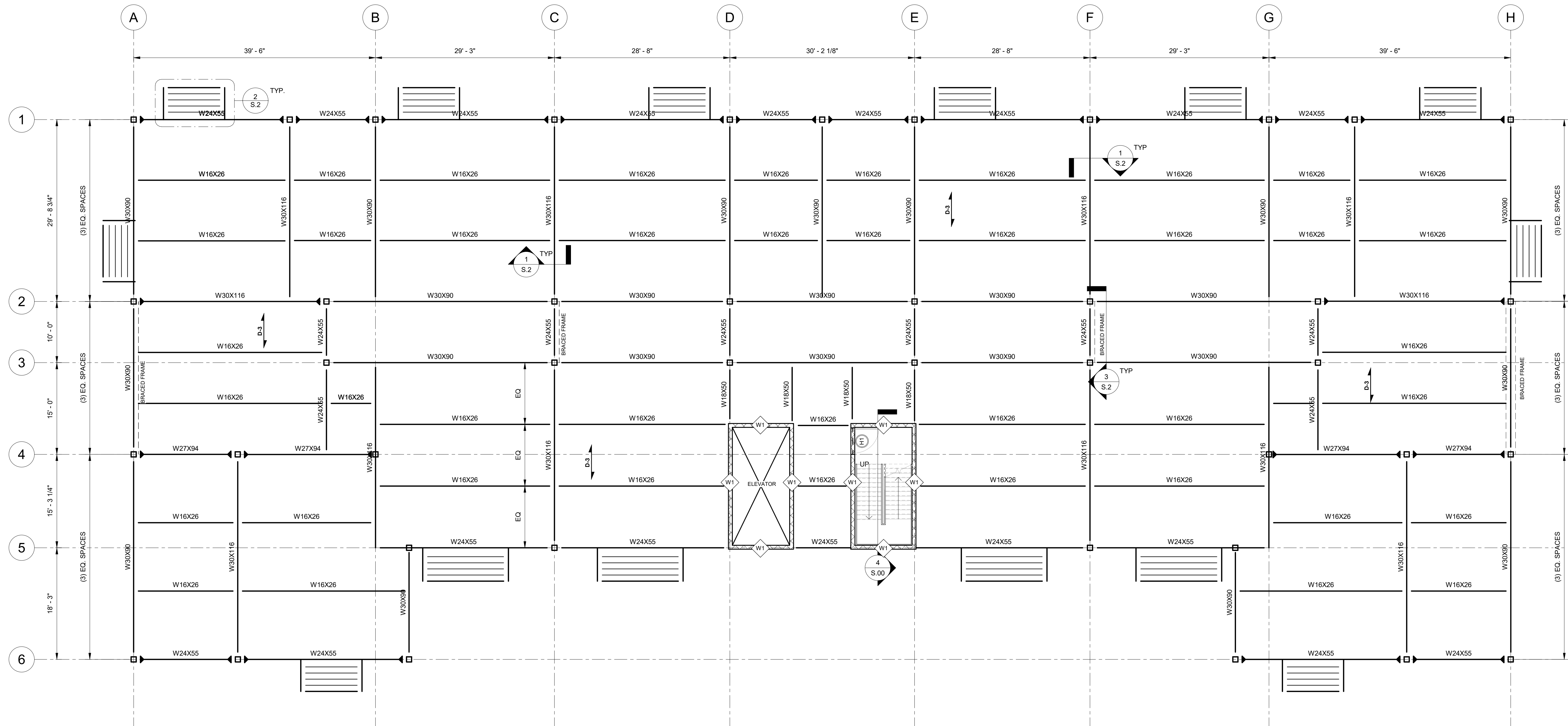
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CONDOMINIUM DEVELOPMENT

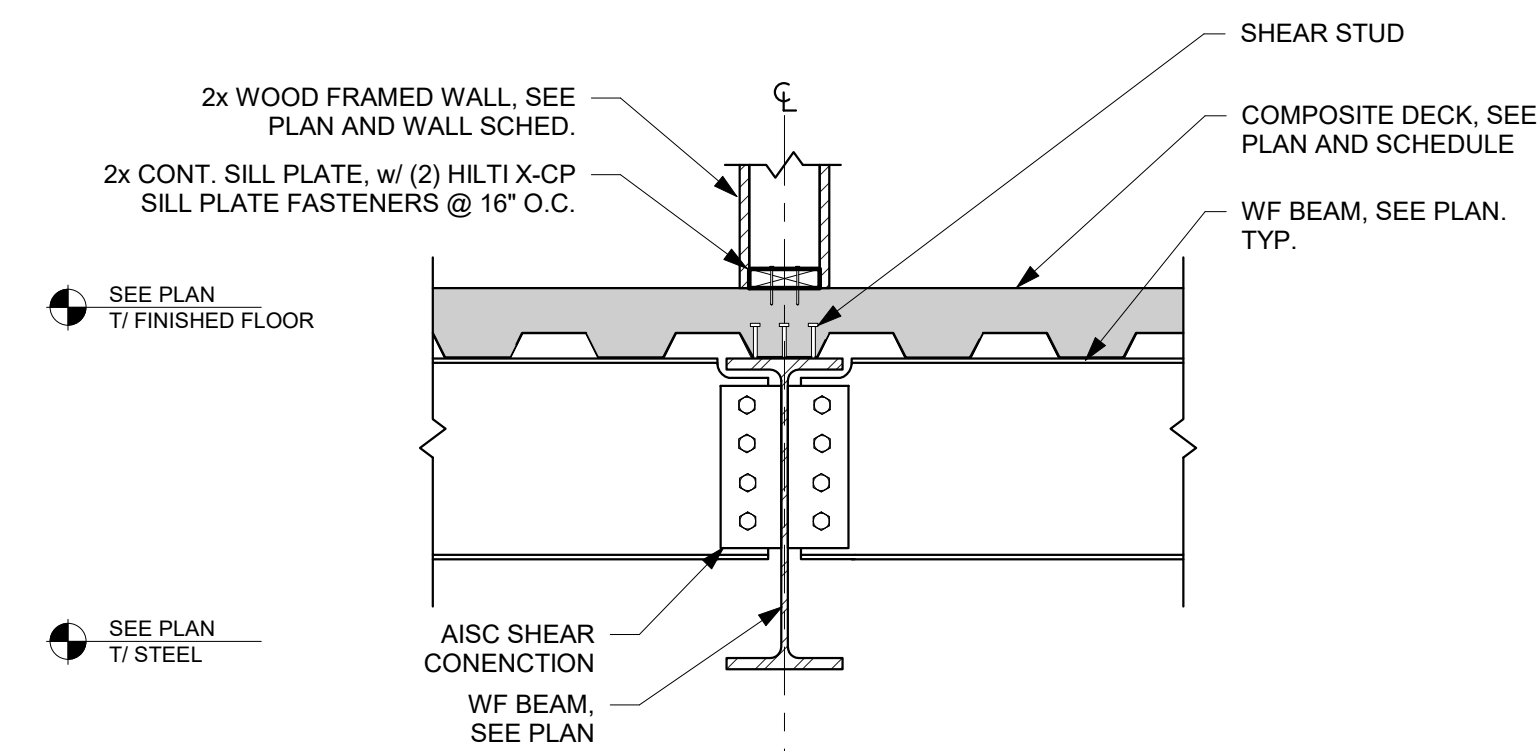
540 4TH ST NE
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SHEET NAME
FOUNDATION PLAN

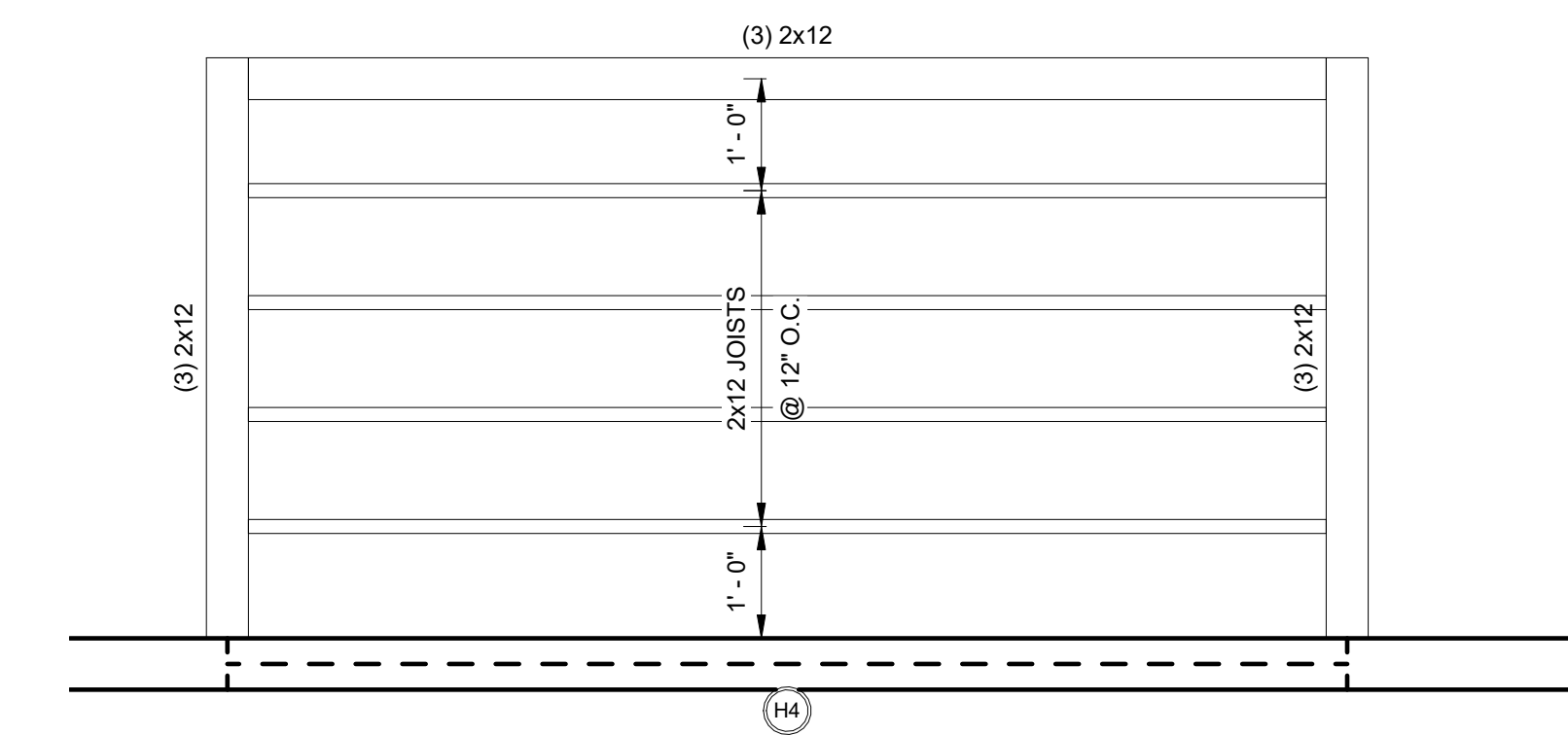
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S.1



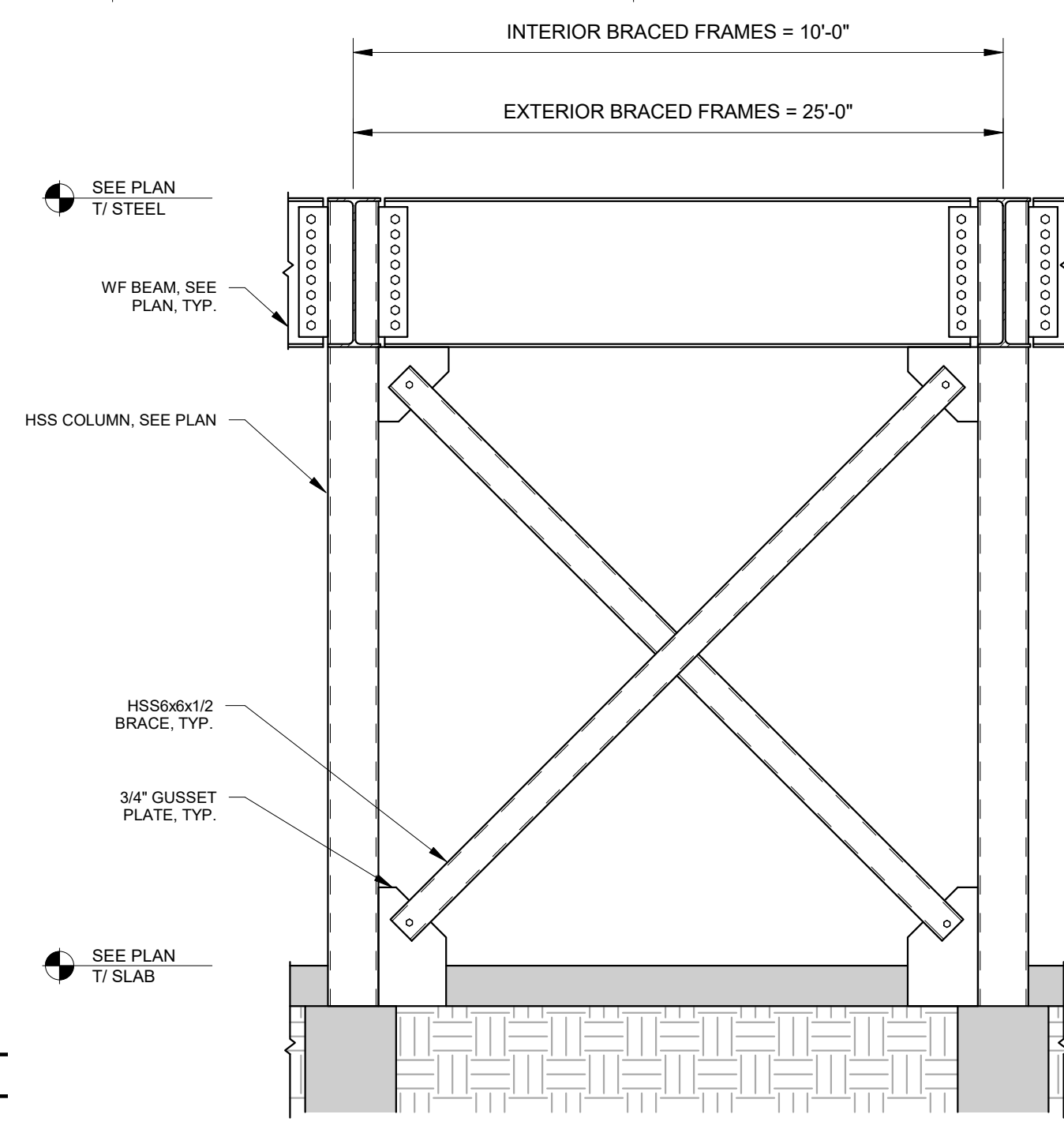
02 - SECOND FLOOR FRAMING PLAN
1 : 100



WOOD BEARING ON STEEL
1 : 15



TYP. BALCONY FRAMING
1 : 20

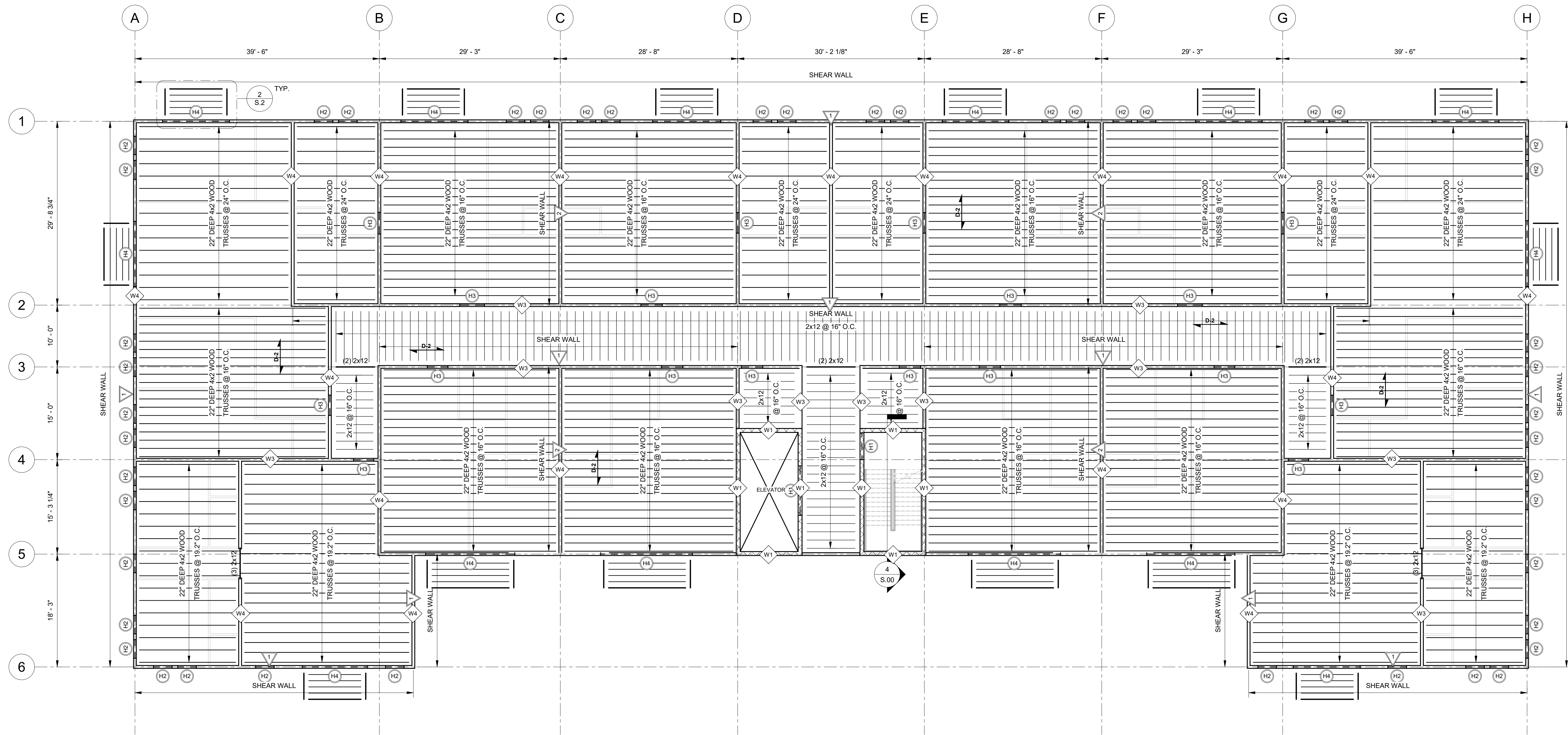


TYP. BRACED FRAME
1 : 30

DECKING SCHEDULE						
MARK	TYPE	FASTENER SIZE	SPACING		BLOCKING	NOTES
			EDGE	FIELD		
D-1	3/4\"/>					

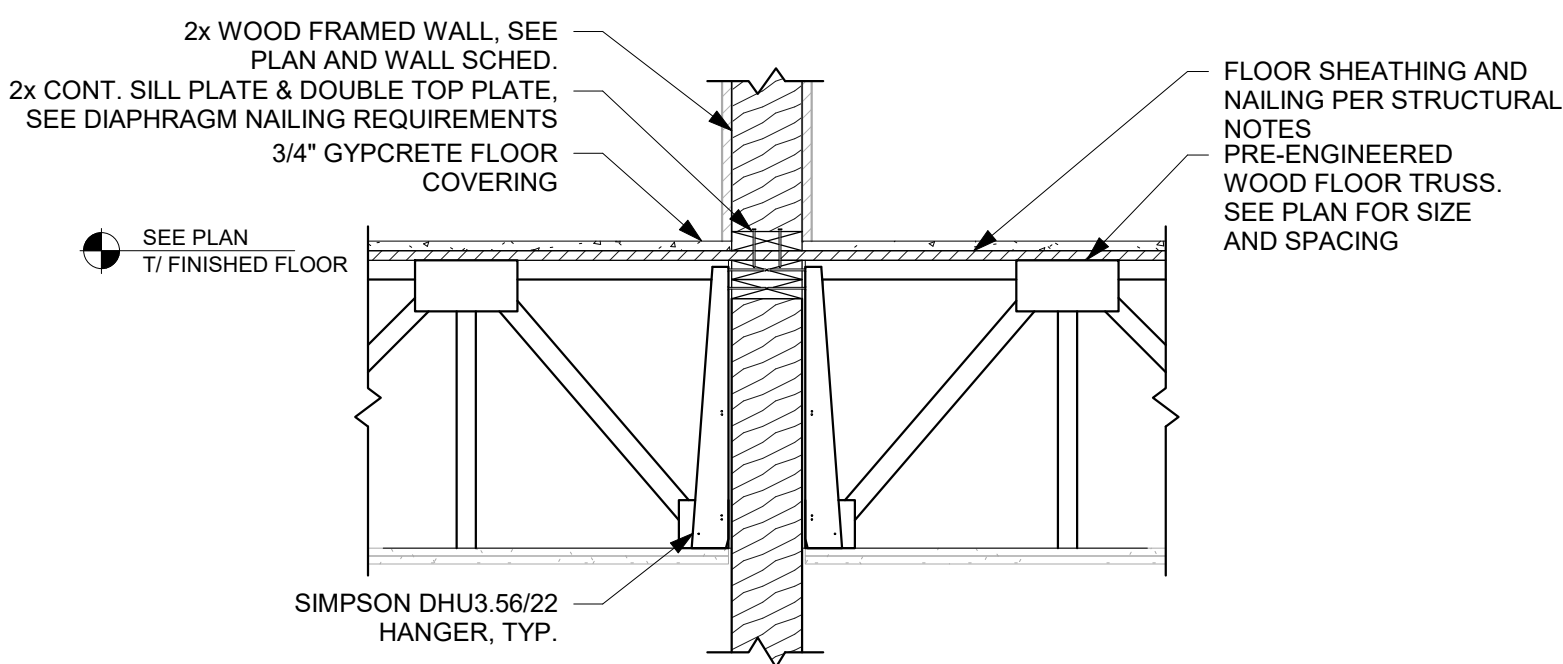


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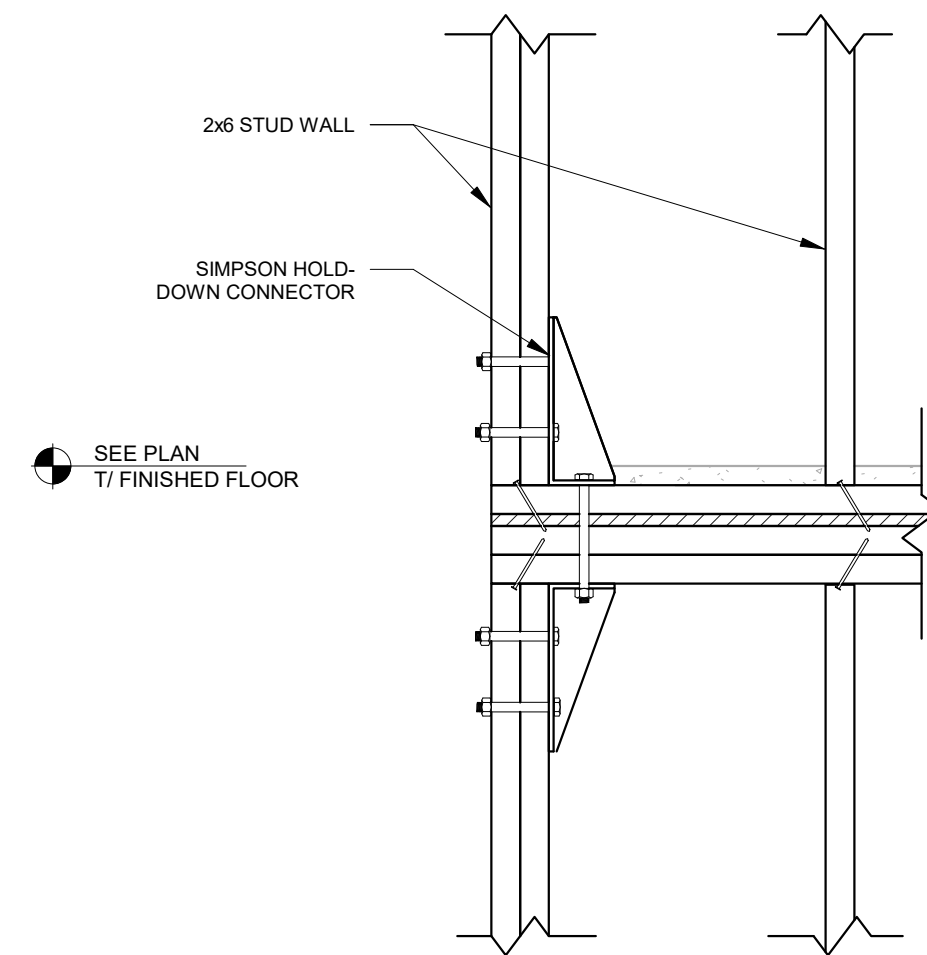


03 - THIRD FLOOR FRAMING PLAN
1 : 100

1 TYP. BEARING WALL
1 : 15



2 TYP. SHEAR WALL
1 : 10



HEADER SCHEDULE			
MARK	SIZE	GEOMETRY	NOTES
H1	CMU (2) COURSE BOND BEAM w/ (2) #5 CONT. @ BOTTOM, 8\"/>		
H2	(3) PLY 2x6 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ WINDOWS
H3	(3) PLY 2x6 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ INTERIOR DOORS
H4	(3) PLY 2x12 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ BALCONY OPENINGS

WOOD BEARING/SHEAR WALL SCHEDULE				
MARKS	W3	W4	1	2
STUD SIZE AND SPACING	2x6 @ 16\"/>			
SHEATHING TYPE	SEE SHEAR WALL TAG	SEE SHEAR WALL TAG	19/32\"/>	
BLOCKED OR UNBLOCKED	BLOCKED	BLOCKED	BLOCKED	BLOCKED
NAILING	10d @ 6\"/>			
HOLD DOWN (LOCATIONS SHOWN AS * ON PLAN)	HOLD DOWNS NOT REQUIRED	HOLD DOWNS NOT REQUIRED	SEE PLAN	SEE PLAN

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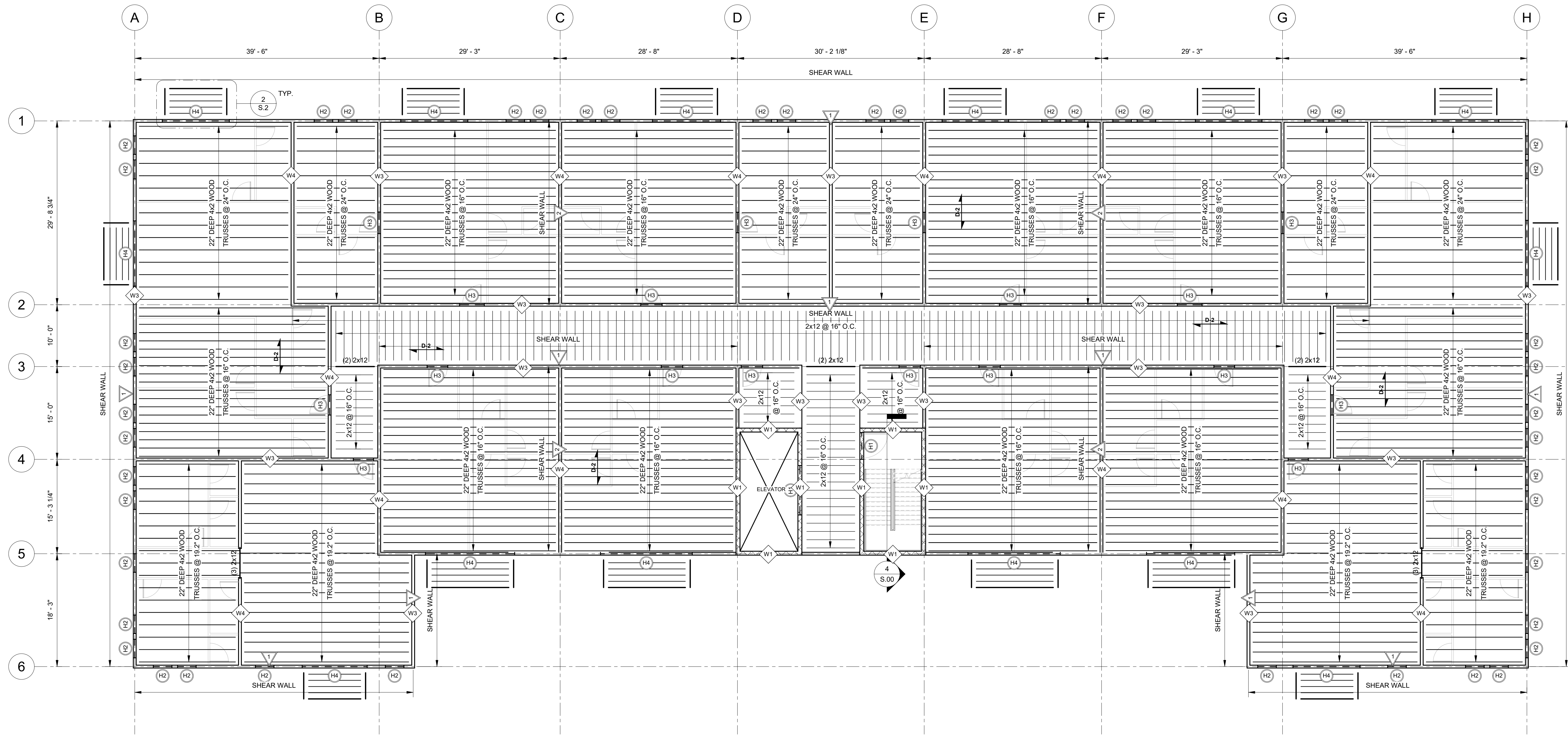


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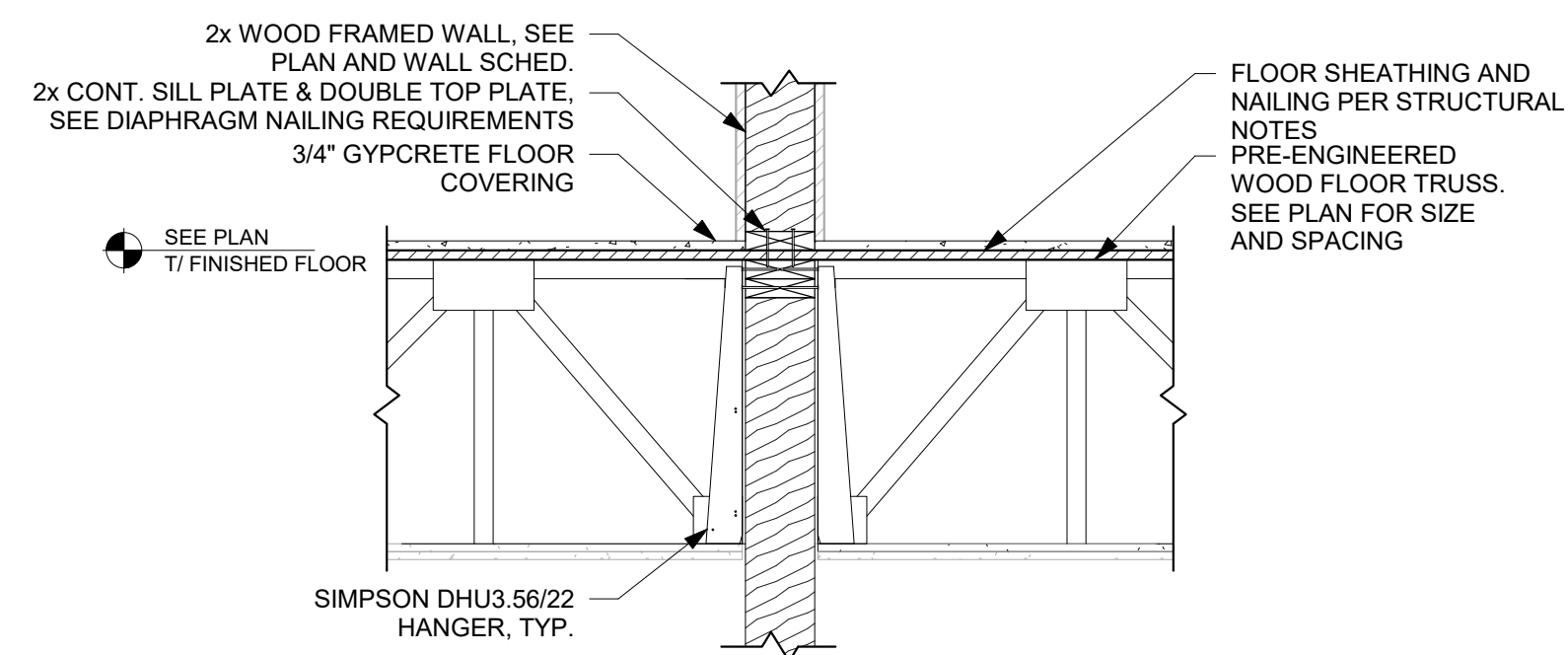
CONDOMINIUM DEVELOPMENT
540 4TH ST NE
MASON CITY, IA 50401

SHEET NAME
THIRD FLOOR FRAMING PLAN

SHEET NO.
S.3



A 04 - FOURTH FLOOR FRAMING PLAN
1 : 100



1 TYP. BEARING WALL
1 : 15

WOOD BEARING/SHEAR WALL SCHEDULE				
MARKS	W3	W4	W1	W2
STUD SIZE AND SPACING	2x6 @ 8" O.C.	2x6 @ 8" O.C.	SEE WALL SIZE TAG	SEE WALL SIZE TAG
SHEATHING TYPE	SEE SHEAR WALL TAG	SEE SHEAR WALL TAG	19/32" OSB	19/32" OSB
BLOCKED OR UNBLOCKED	BLOCKED	BLOCKED	BLOCKED	BLOCKED
NAILING	10d @ 6" O.C. EDGES	10d @ 6" O.C. EDGES	10d @ 6" O.C. EDGES	10d @ 4" O.C. EDGES
HOLD DOWN (LOCATIONS SHOWN AS * ON PLAN)	HOLD DOWNS NOT REQUIRED	HOLD DOWNS NOT REQUIRED	SEE PLAN	SEE PLAN

DECKING SCHEDULE						
MARK	TYPE	FASTENER SIZE	SPACING EDGE	SPACING FIELD	BLOCKING	NOTES
D-1	3/4" OSB SHEATHING	10d	6"	12"	BLOCKED	AT ROOF
D-2	3/4" OSB SHEATHING w/ 3/4" GYPCRETE	10d	6"	6"	BLOCKED	AT FLOORS 3/4/5
D-3	2VLI DECK w/ 3.5" NW CONCRETE	-	-	-	-	AT FLOOR 2

HEADER SCHEDULE			
MARK	SIZE	GEOMETRY	NOTES
H1	CMU (2) COURSE BOND BEAM w/ (2) #5 CONT. @ BOTTOM, 8" MIN BEARING	BOND BEAM (2) #5 CONT. REBAR	@ STAIRS & ELEVATOR
H2	(3) PLY 2x6 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ WINDOWS
H3	(3) PLY 2x6 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ INTERIOR DOORS
H4	(3) PLY 2x12 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ BALCONY OPENINGS

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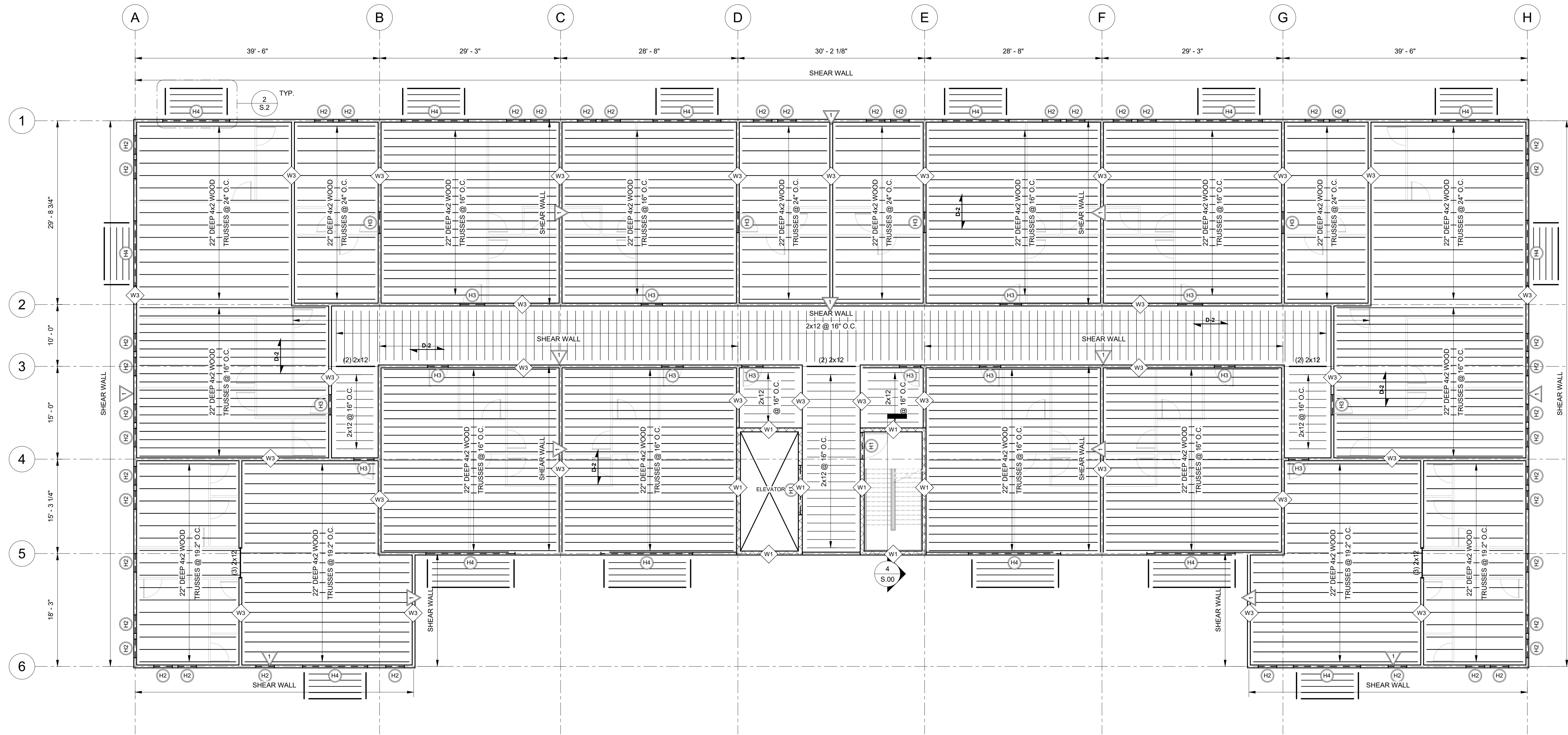
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CONDOMINIUM DEVELOPMENT

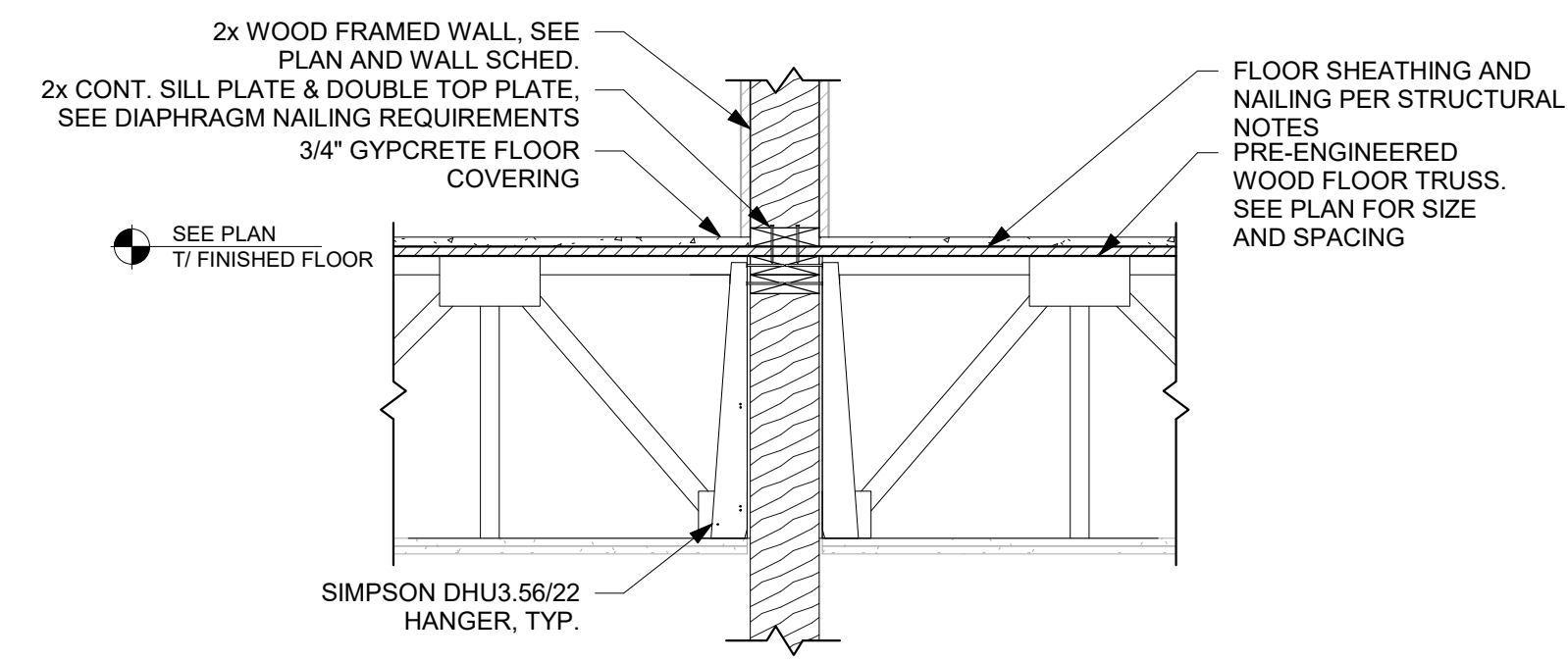
540 4TH ST NE
MASON CITY, IA 50401

SHEET NAME
FOURTH FLOOR FRAMING PLAN

SHEET NO.
S.4



05 - FIFTH FLOOR FRAMING PLAN
1 : 100



1 TYP. BEARING WALL
1 : 15

WOOD BEARING/SHEAR WALL SCHEDULE				
MARKS	W3	W4	1	2
STUD SIZE AND SPACING	2x6 @ 16" O.C.	2x6 @ 8" O.C.	SEE WALL SIZE TAG	SEE WALL SIZE TAG
SHEATHING TYPE	SEE SHEAR WALL TAG	SEE SHEAR WALL TAG	19/32" OSB	19/32" OSB
BLOCKED OR UNBLOCKED	BLOCKED	BLOCKED	BLOCKED	BLOCKED
NAILING	10d @ 6" O.C. EDGES	10d @ 6" O.C. EDGES	10d @ 6" O.C. EDGES	10d @ 4" O.C. EDGES
HOLD DOWN (LOCATIONS SHOWN AS * ON PLAN)	HOLD DOWNS NOT REQUIRED	HOLD DOWNS NOT REQUIRED	SEE PLAN	SEE PLAN

DECKING SCHEDULE						
MARK	TYPE	FASTENER SIZE	SPACING EDGE	FIELD	BLOCKING	NOTES
D-1	3/4" OSB SHEATHING	10d	6"	12"	BLOCKED	AT ROOF
D-2	3/4" OSB SHEATHING w/ 3/4" GYPCRETE	10d	6"	6"	BLOCKED	AT FLOORS 3/4/5
D-3	2x11 DECK w/ 3.5" NW CONCRETE	--	--	--	--	AT FLOOR 2

HEADER SCHEDULE			
MARK	SIZE	GEOMETRY	NOTES
H1	CMU: (2) COURSE BOND BEAM w/ (2) #5 CONT. @ BOTTOM, 6" MIN BEARING	BOND BEAM (2) #5 CONT. REBAR	@ STAIRS & ELEVATOR
H2	(3) PLY 2x6 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ WINDOWS
H3	(3) PLY 2x6 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ INTERIOR DOORS
H4	(3) PLY 2x12 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ BALCONY OPENINGS

PROJECT: CEE-4860
DATE: 05/04/2018
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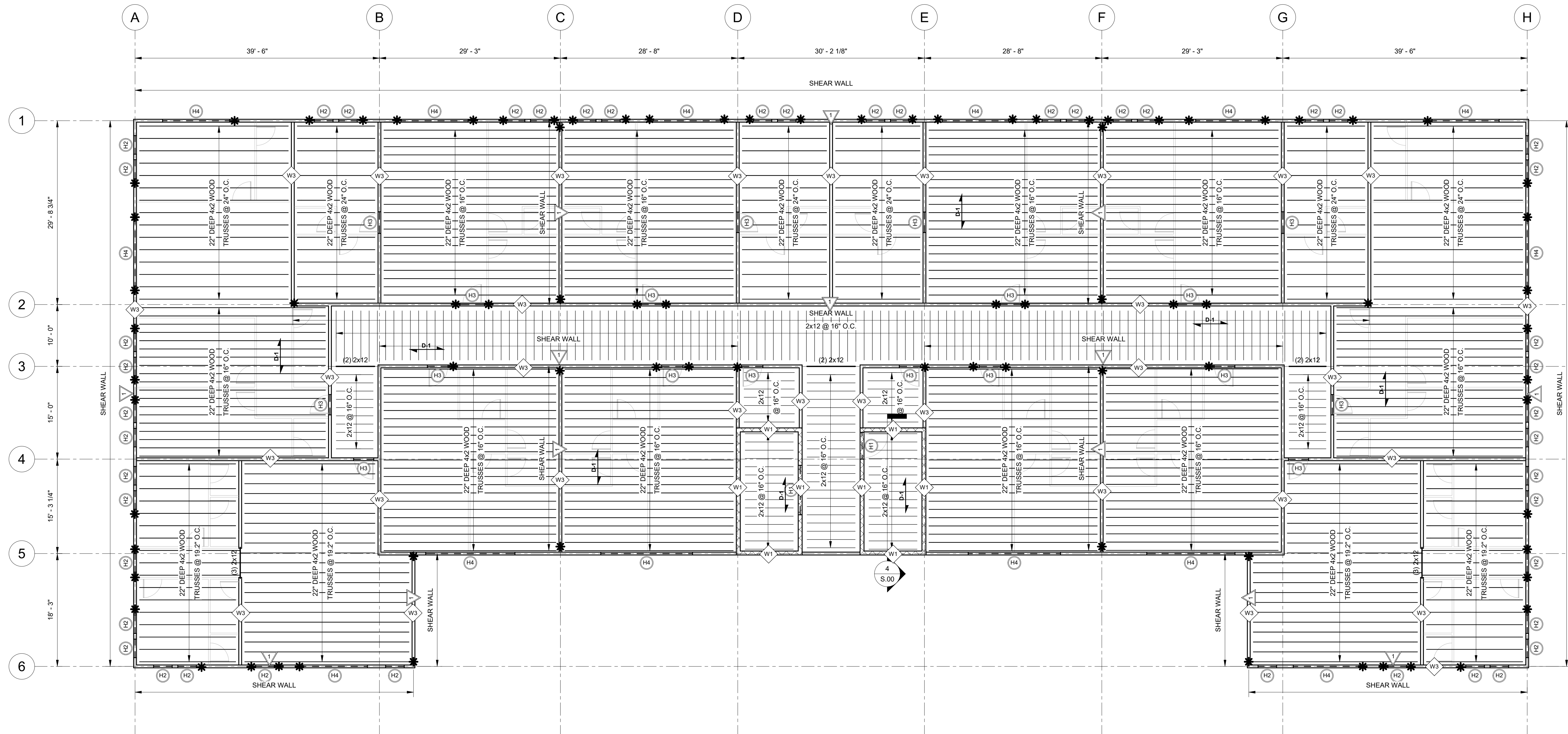


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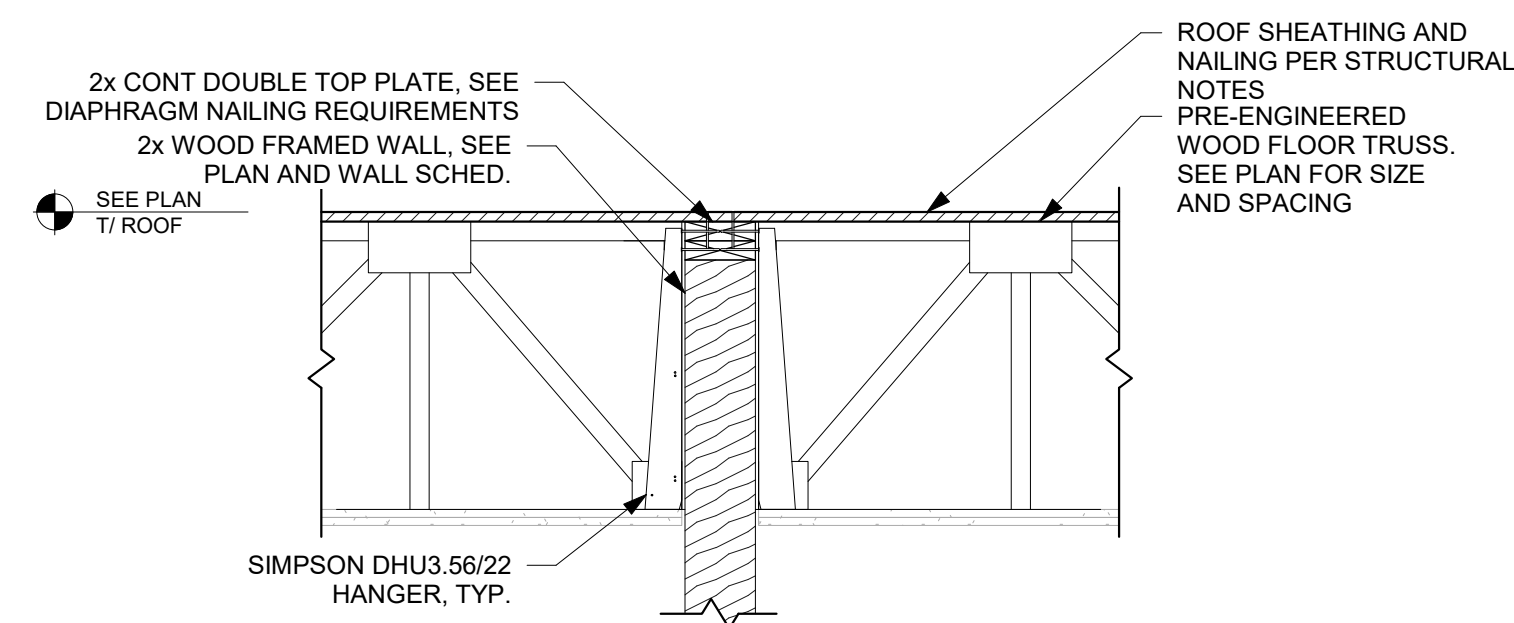
CONDOMINIUM DEVELOPMENT
540 4TH ST NE
MASON CITY, IA 50401

SHEET NAME
FIFTH FLOOR FRAMING PLAN

SHEET NO.
S.5



06 - ROOF FRAMING PLAN
1 : 100



1. TYP. BEARING WALL @ ROOF
1 : 15

WOOD BEARING/SHEAR WALL SCHEDULE				
MARKS	W3	W4	1	2
STUD SIZE AND SPACING	2x6 @ 16" O.C.	2x6 @ 8" O.C.	SEE WALL SIZE TAG	SEE WALL SIZE TAG
SHEATHING TYPE	SEE SHEAR WALL TAG	SEE SHEAR WALL TAG	19/32" OSB	19/32" OSB
BLOCKED OR UNBLOCKED	BLOCKED	BLOCKED	BLOCKED	BLOCKED
NAILING	10d @ 6" O.C. EDGES	10d @ 6" O.C. EDGES	10d @ 6" O.C. EDGES	10d @ 4" O.C. EDGES
HOLD DOWN (LOCATIONS SHOWN AS * ON PLAN)	HOLD DOWNS NOT REQUIRED	HOLD DOWNS NOT REQUIRED	SEE PLAN	SEE PLAN

DECKING SCHEDULE					
MARK	TYPE	FASTENER	SPACING	BLOCKING	NOTES
D-1	3/4" OSB SHEATHING	10d	6" x 12"	BLOCKED	AT ROOF
D-2	3/4" OSB SHEATHING w/ 3/4" GYPCRETE	10d	6" x 6"	BLOCKED	AT FLOORS 3/4/5
D-3	2VL1 DECK w/ 3.5" NW CONCRETE				AT FLOOR 2

HEADER SCHEDULE			
MARK	SIZE	GEOMETRY	NOTES
H1	CMU; (2) COURSE BOND BEAM w/ (2) #5 CONT. @ BOTTOM, 8" MIN BEARING	BOND BEAM (2) #5 CONT. REBAR	@ STAIRS & ELEVATOR
H2	(3) PLY 2x6 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ WINDOWS
H3	(3) PLY 2x6 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ INTERIOR DOORS
H4	(3) PLY 2x12 w/ (2) 2x6 FULL HEIGHT STUDS + (2) 2x6 JACK STUDS @ EA. JAMB	HEADER	@ BALCONY OPENINGS

PROJECT: CEE-4860
DATE: 05/04/2018
DRAWN BY: DHJU ENGINEERS
REVISION:

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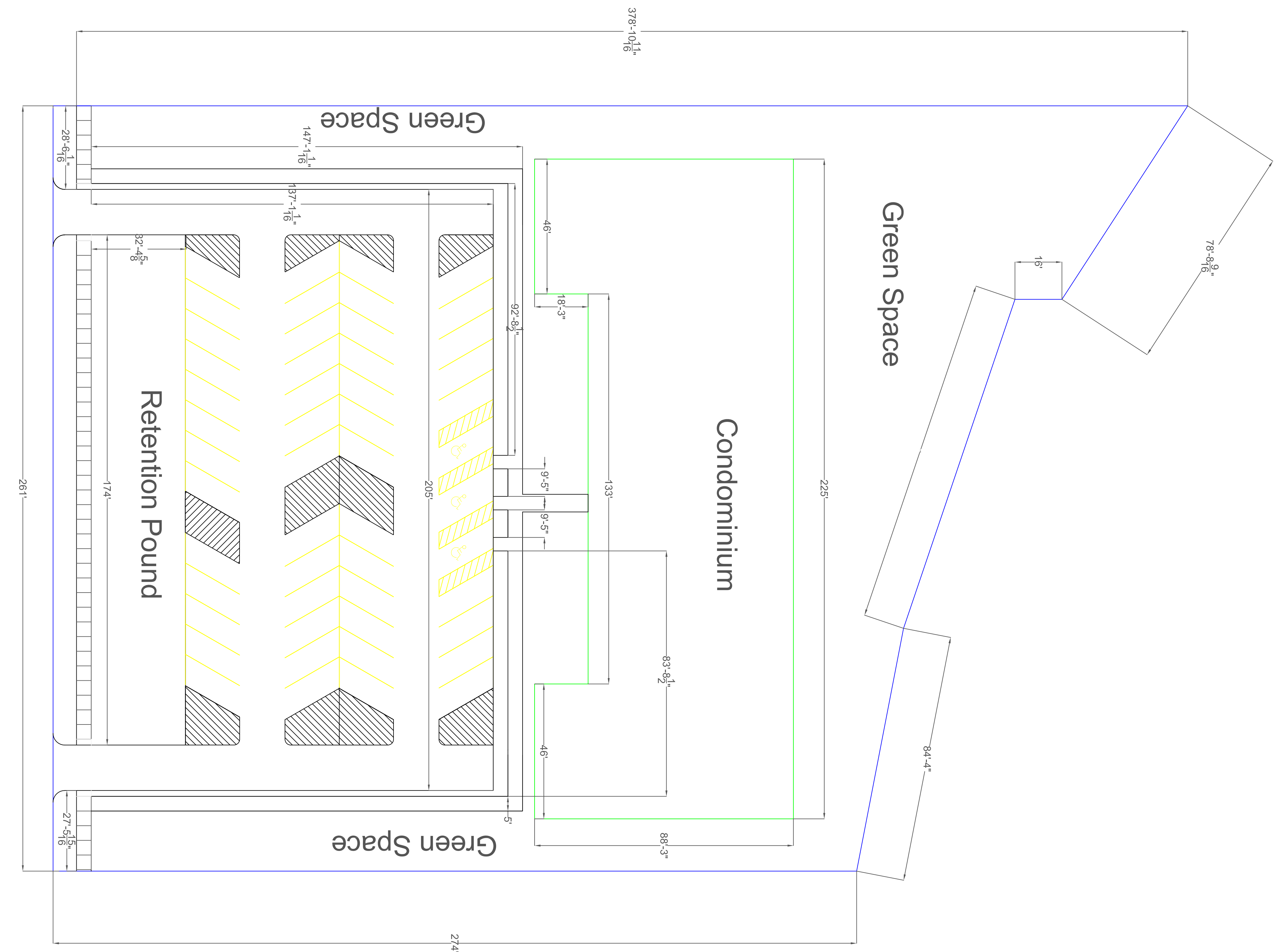
SHEET NAME
ROOF FRAMING PLAN

SHEET NO.
S.6



Skarpness Photo

540 4th Street Northeast



PROJECT:	CEE: 4850
DATE :	05/04/2018
DRAWN BY:	Noah Kalter
REVISION:	

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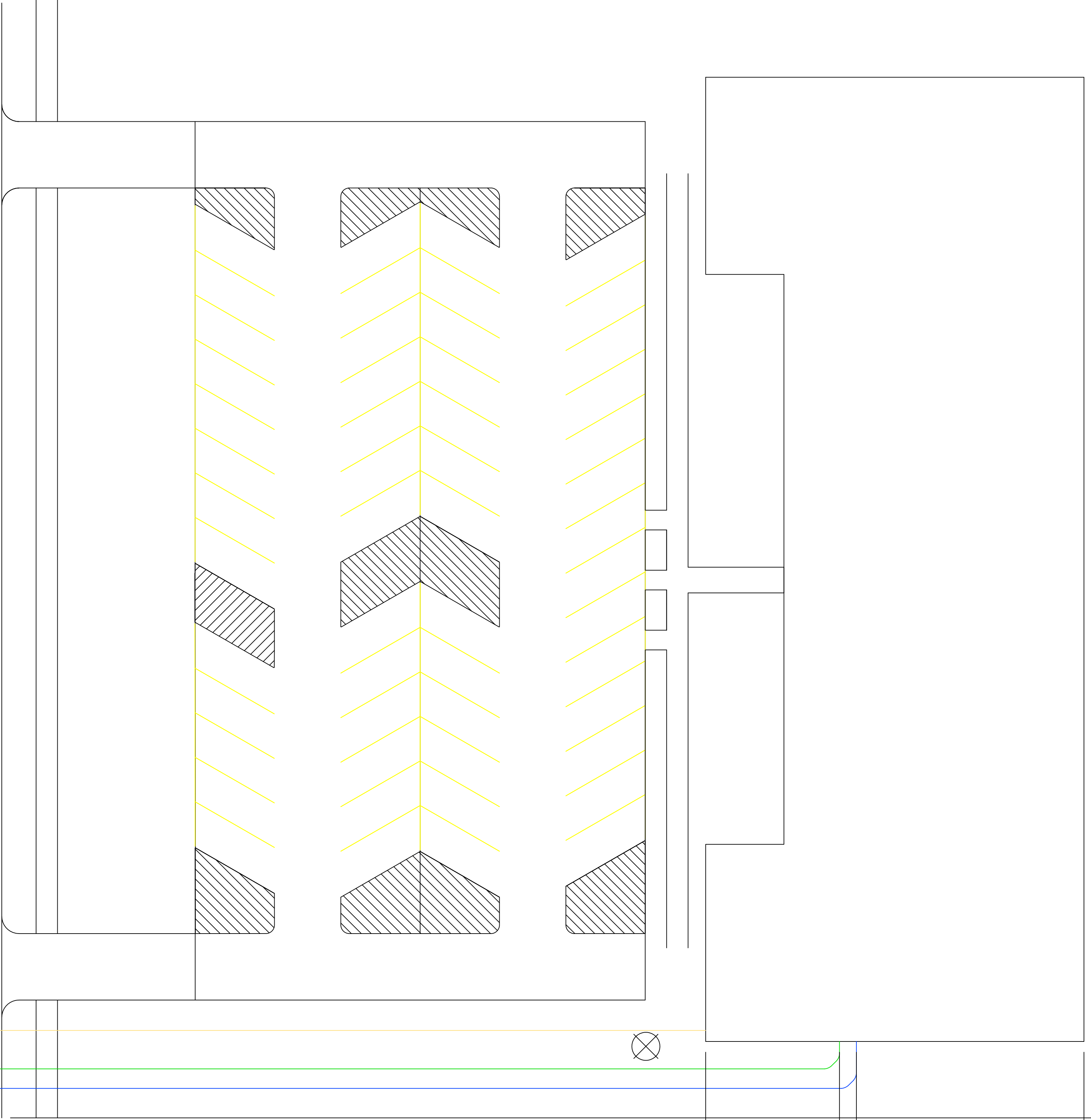


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Condo Development
 540 4th ST NE
 Mason city, IA




SHEET NAME
 Construction Site

SHEET NO.
No.2



4'-5"
2'-7"

Fire Hydrant

	Drinking Water
	Sanitary Sewer
	Electricity Line

SHEET NAME
Future Utility location

condo Development

540 4th ST NE
Mason city, IA

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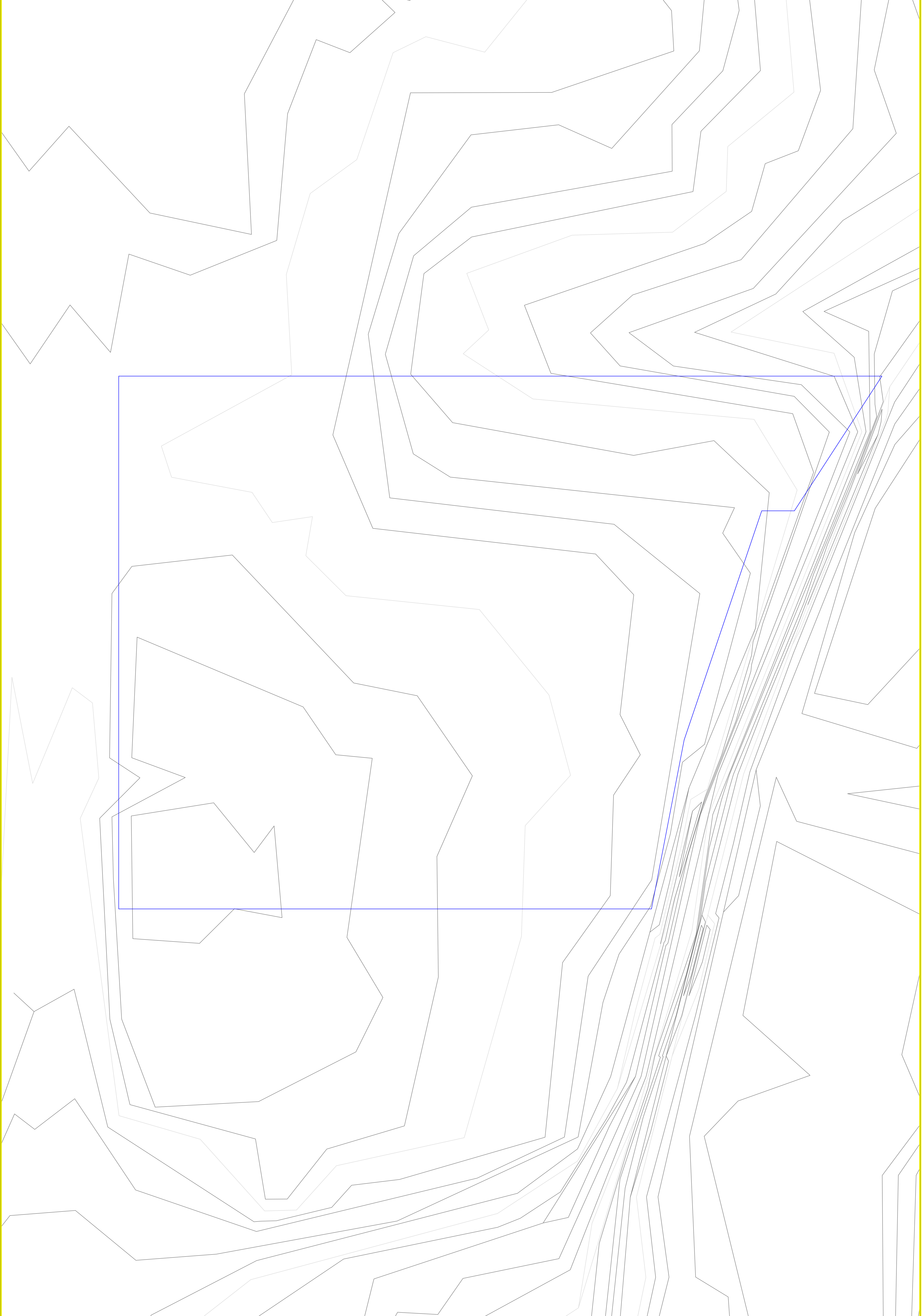
PROJECT: CEE: 4850

DATE : 05/04/2018

DRAWN BY: Noah Kalter

REVISION:

SHEET NO.
No.3



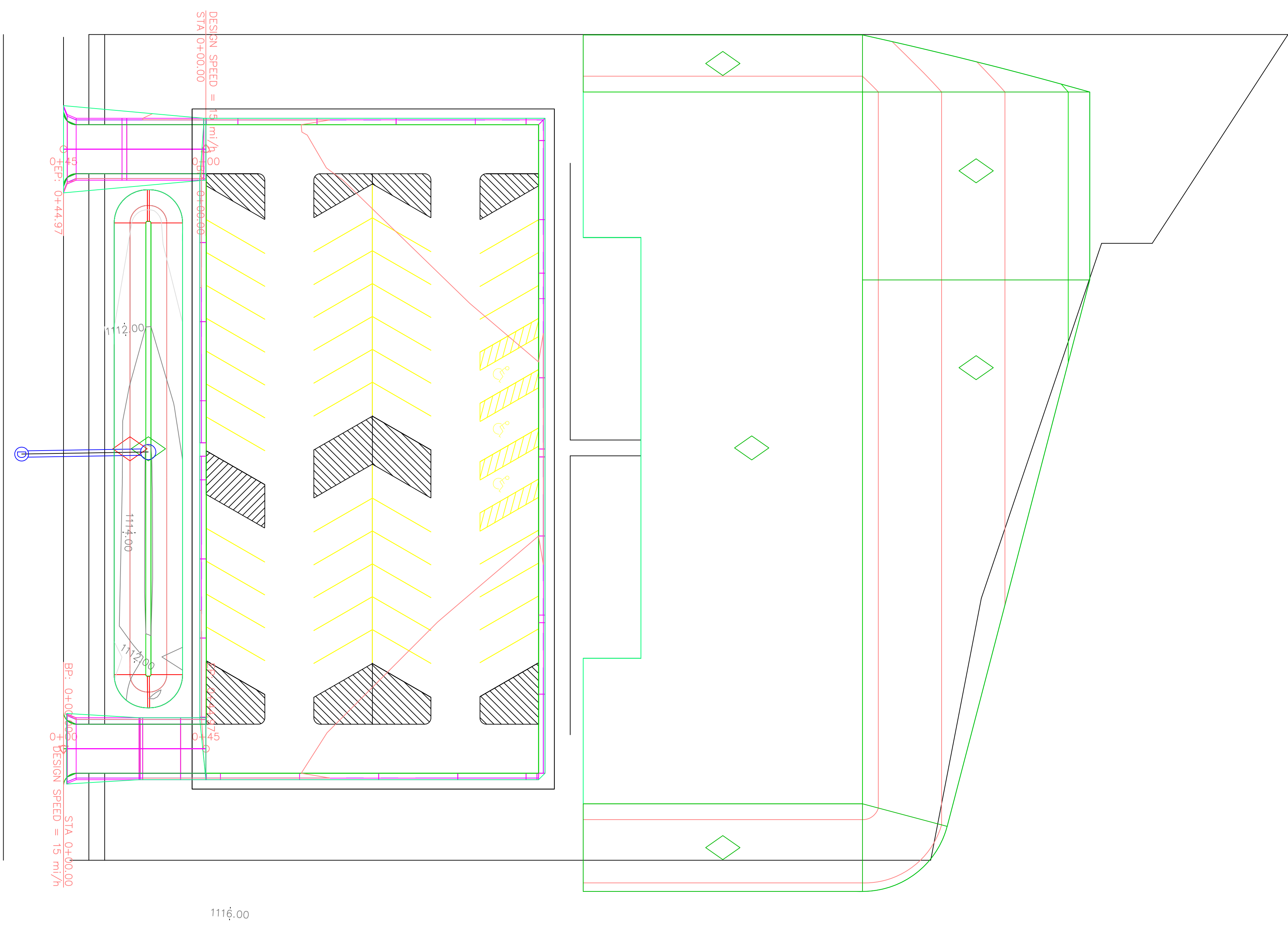
No.4
SHEET NO.
Existing Elevation
SHEET NAME

Condo Development
540 4th ST NE
Mason city, IA
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PROJECT:	CEE: 4850
DATE :	05/04/2018
DRAWN BY:	Noah kalter
REVISION:	



1112.00

1110.00

1116.00

1114.00

No.5
SHEET NO.
Future Grading
SHEET NAME

Condo Development

540 4th ST NE
Mason city, IA

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PROJECT:	CEE: 4850
DATE :	04/19/2018
DRAWN BY:	Noah Kalter
REVISION:	

Design for 5 yr storm			
Pre-Development		Post-Development	
C [-]	0.2001	C [-]	0.5286
i [in/hr]	4.08	i [in/hr]	4.08
A [ac]	1.8857	A [ac]	1.8857
Cf [-]	1	Cf [-]	1
Q [ft ³ /s]	1.5395	Q [ft ³ /s]	4.0671
Total	1.5395	Total	4.0671
Difference		2.5275 cfs	
Volume		2274.8 ft ³	

Pre-Development		
Runoff Coefficients	Area [ac]	
Parking lots, roofs, driveways,	0.9	0.126
Lawns, Heavy Soil, Flat: <=2%	0.15	1.7597
Composite	0.2001	

Post-Development		
Runoff Coefficients	Area [ac]	
Parking lots, roofs, driveways,	0.9	0.952
Lawns, Heavy Soil, Flat: <=2%	0.15	0.9337
Composite Coefficient	0.5286	

Design for 10 yr storm			
Pre-Development		Post-Development	
C [-]	0.2001	C [-]	0.5286
i [in/hr]	4.76	i [in/hr]	4.76
A [ac]	1.8857	A [ac]	1.8857
Cf [-]	1	Cf [-]	1
Q [ft ³ /s]	1.7961	Q [ft ³ /s]	4.7449
Total	1.7961	Total	4.7449
Difference		2.9488 cfs	
Volume		2653.9 ft ³	

Pre-Development		
Runoff Coefficients	Area [ac]	
Parking lots, roofs, driveways,	0.9	0.126
Lawns, Heavy Soil, Flat: <=2%	0.15	1.7597
Composite	0.2001	

Post-Development		
Runoff Coefficients	Area [ac]	
Parking lots, roofs, driveways,	0.9	0.952
Lawns, Heavy Soil, Flat: <=2%	0.15	0.9337
Composite Coefficient	0.5286	

Design for 100 yr storm			
Pre-Development		Post-Development	
C [-]	0.2001	C [-]	0.5286
i [in/hr]	7.28	i [in/hr]	7.28
A [ac]	1.8857	A [ac]	1.8857
Cf [-]	1.25	Cf [-]	1.25
Q [ft ³ /s]	2.747	Q [ft ³ /s]	7.2569
Total	2.747	Total	7.2569
Difference		4.5099 cfs	
Volume		4058.9 ft ³	

Pre-Development		
Runoff Coefficients	Area [ac]	
Parking lots, roofs, driveways,	0.9	0.126
Lawns, Heavy Soil, Flat: <=2%	0.15	1.7597
Composite	0.2001	

Post-Development		
Runoff Coefficients	Area [ac]	
Parking lots, roofs, driveways,	0.9	0.952
Lawns, Heavy Soil, Flat: <=2%	0.15	0.9337
Composite Coefficient	0.5286	

CONVERT	40671 ft
ION sqft to	0.9337 ac

Use the above set of calculations for stormwater runoff estimation

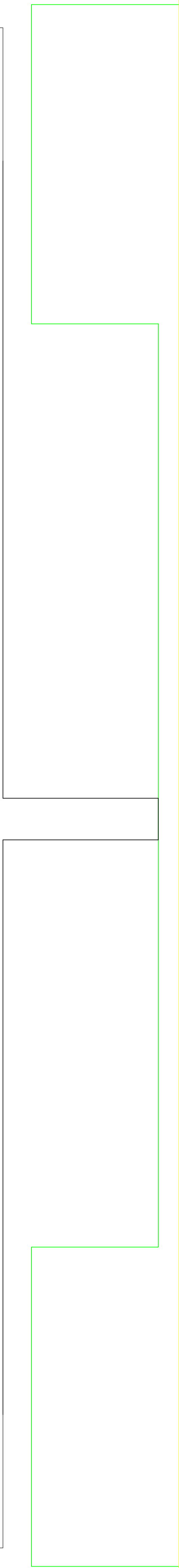
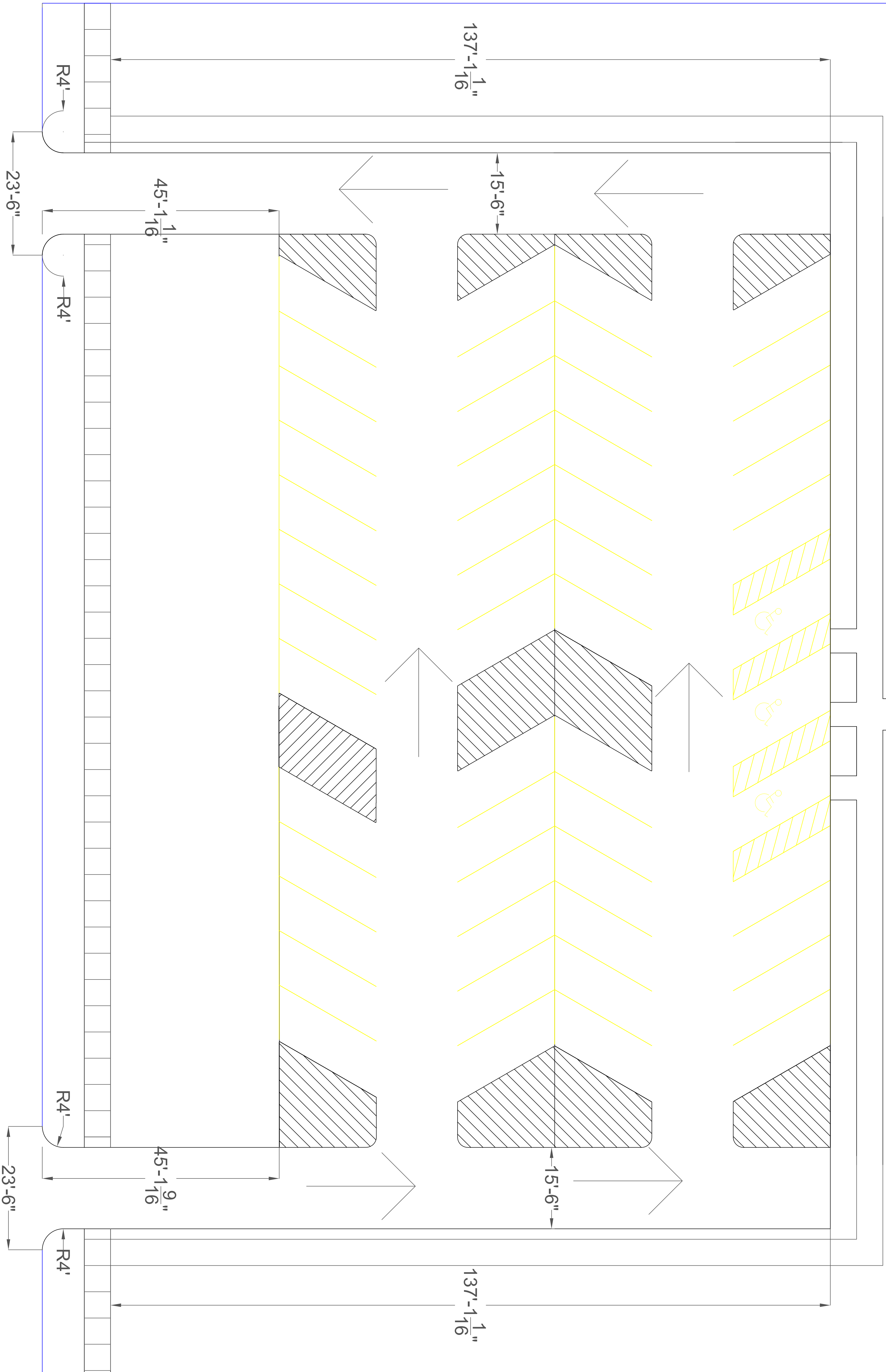
Site Drainage

Design for 5 yr storm			CONVERT	21521.2 ft
C [-]	0.9		ION sqft	0.49406 ac
i [in/hr]	4.08			
A [ac]	0.4940582			
Cf [-]	1			
Q [ft ³ /s]	1.8141818			
Design for 100 yr storm				
C [-]	0.9			
i [in/hr]	7.28			
A [ac]	0.4940582			
Cf [-]	1.25			
Q [ft ³ /s]	4.0463369			

Parking Lot Drainage

Design for 5 yr storm			CONVERT	21521.2 ft
C [-]	0.9		ION sqft	0.49406 ac
i [in/hr]	4.08			
A [ac]	0.4940582			
Cf [-]	1			
Q [ft ³ /s]	1.8141818			
Design for 100 yr storm				
C [-]	0.9			
i [in/hr]	7.28			
A [ac]	0.4940582			
Cf [-]	1.25			
Q [ft ³ /s]	4.0463369			

Access Road Drainage



No.07

SHEET NO.
Access Road

Condo Development

540 4th ST NE
Mason city, IA

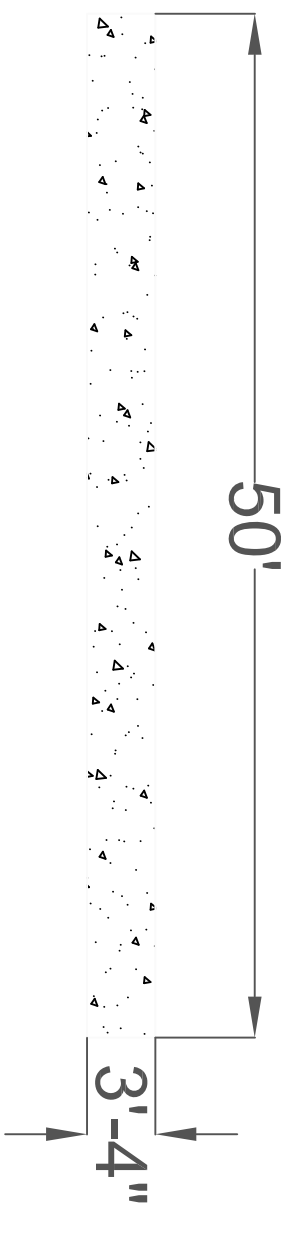
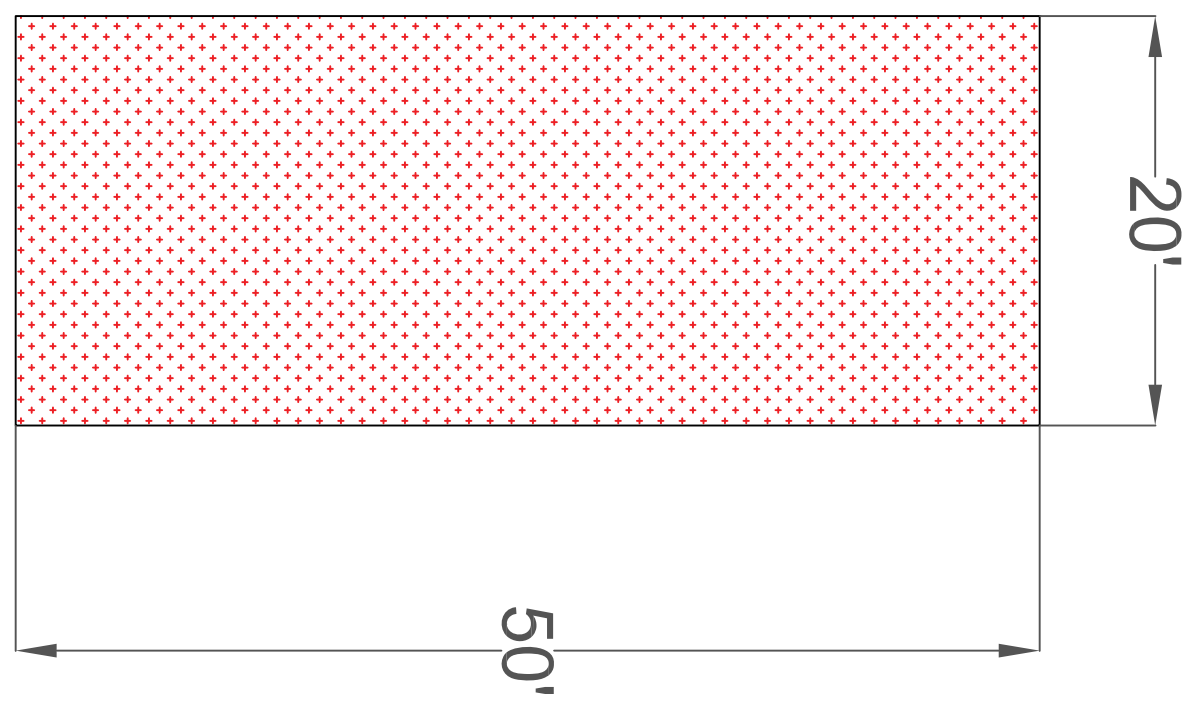
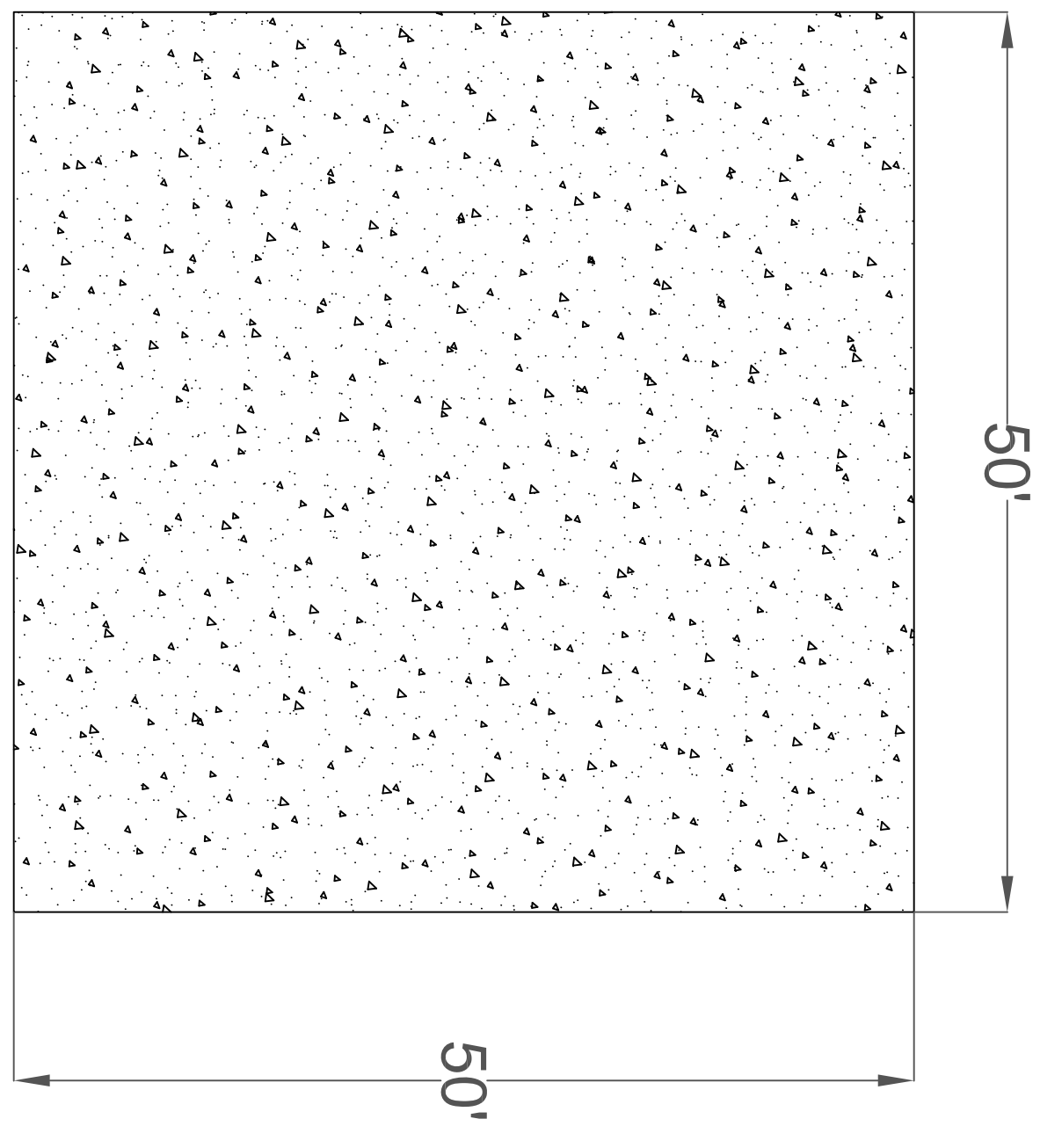
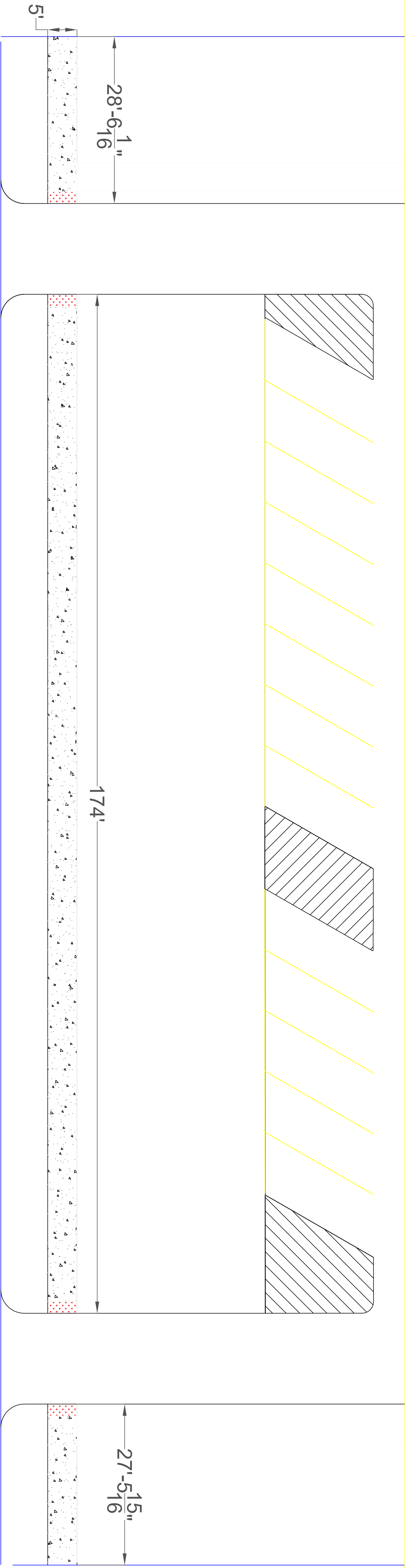
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IOWA CITY, IOWA 52242
PHONE: 319.335.5647
FAX: 319.335.5660
EMAIL: civil-hawks@uiowa.edu

PROJECT:	CEE: 4850
DATE :	05/04/2018
DRAWN BY:	Noah Kalter
REVISION:	



Detectable Warning Cross Section [Scale: 10:1]

Concrete Slab Cross Section [Scale: 10:1]

PROJECT:	CEE: 4850
DATE :	05/04/2018
DRAWN BY:	Hanjie Laing
REVISION:	

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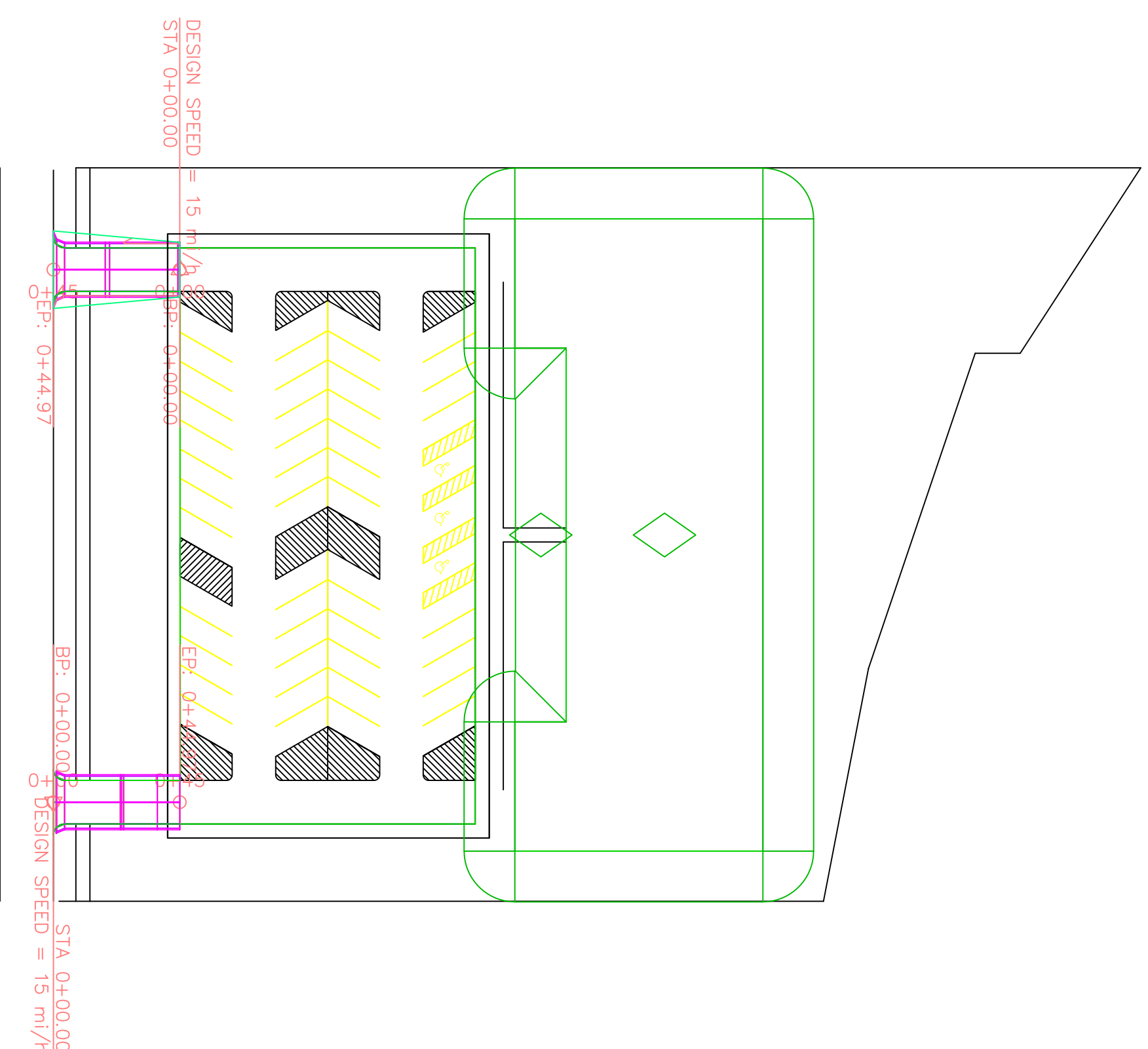
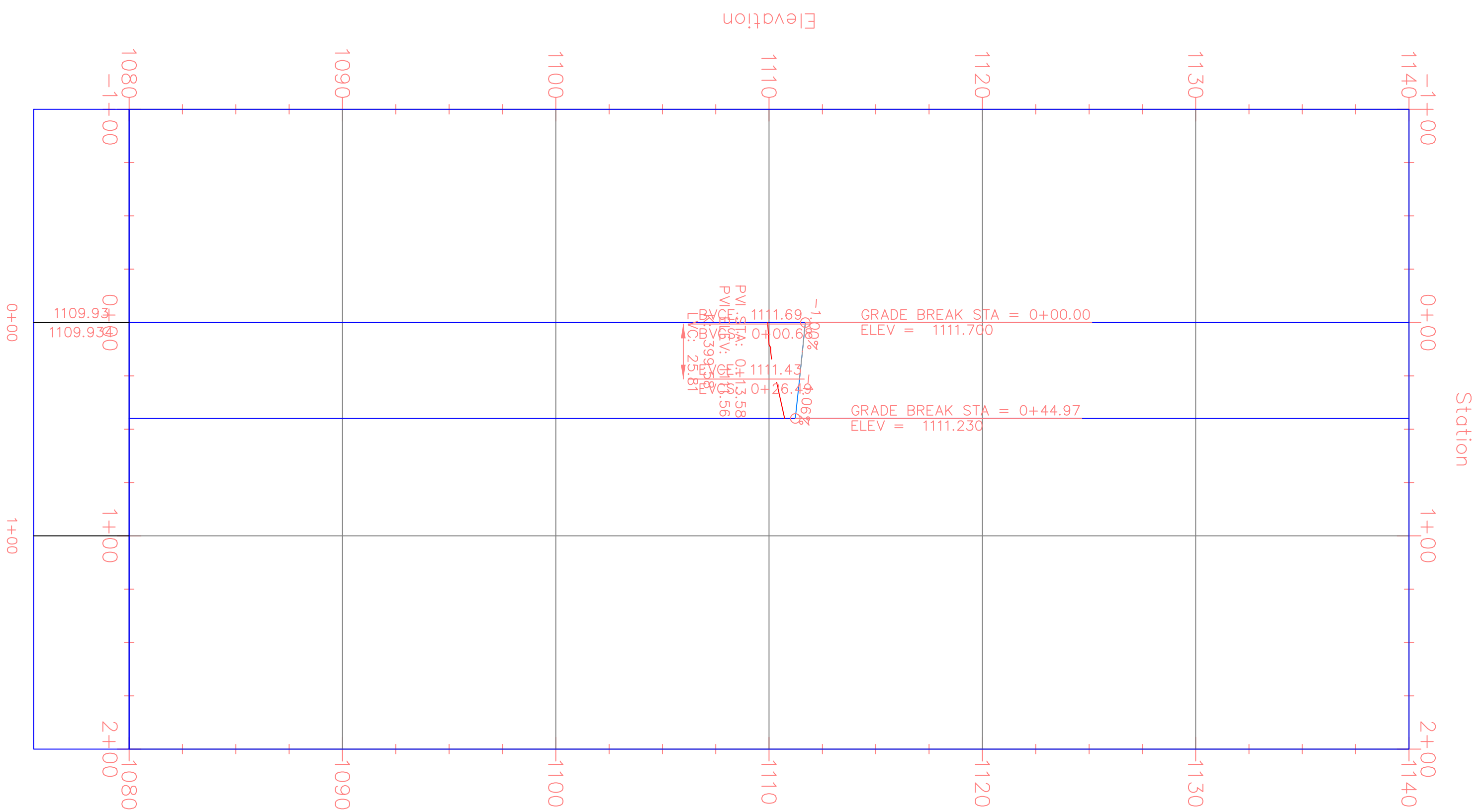
Condo Development
 540 4th ST NE
 Mason city, IA

SHEET NAME
 Sidewalk

SHEET NO.

No.8

Horizontal Left PROFILE



PROJECT:	CEE: 4850
DATE :	04/19/2018
DRAWN BY:	Noah Kalter
REVISION:	

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Condo Development

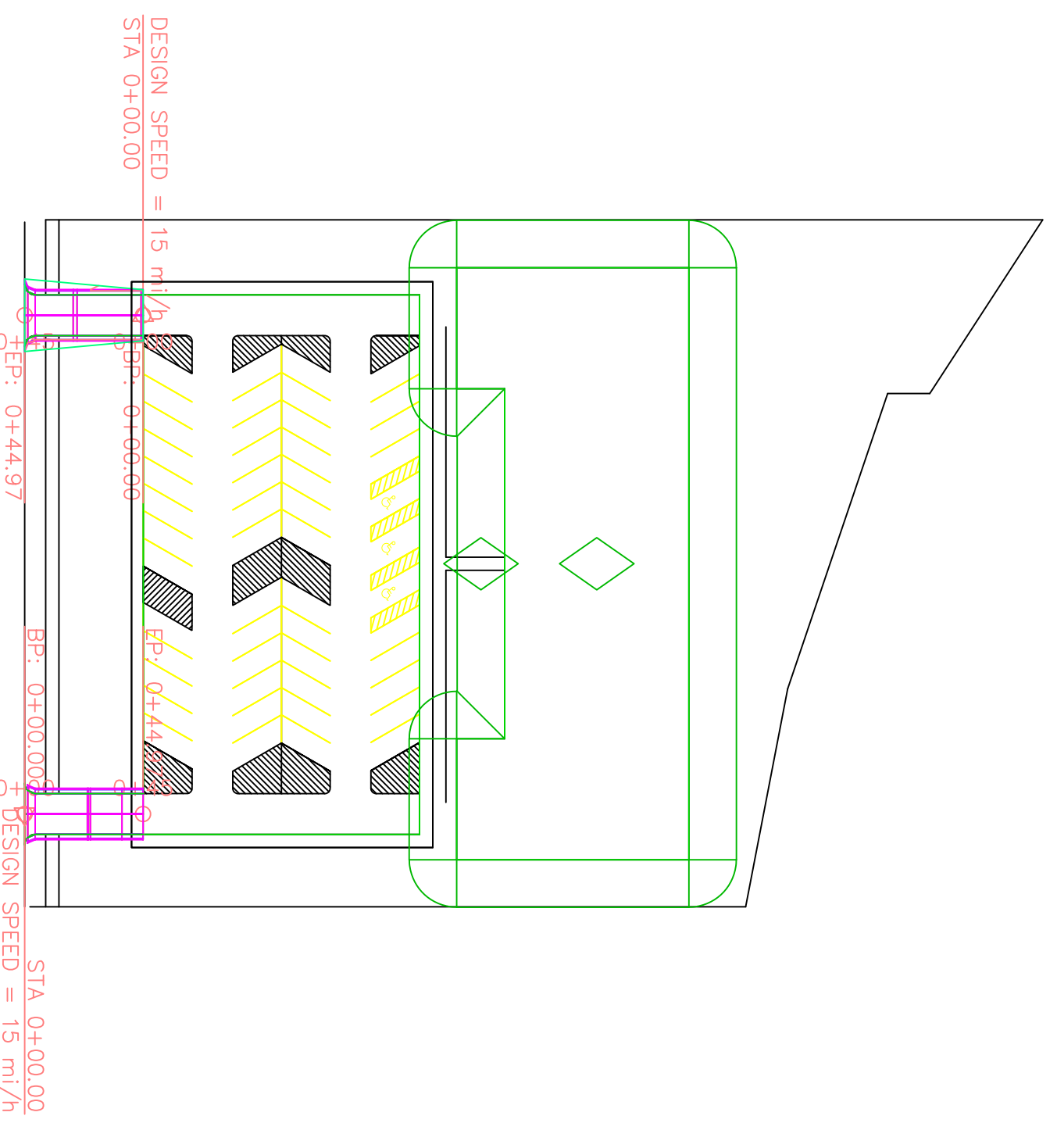
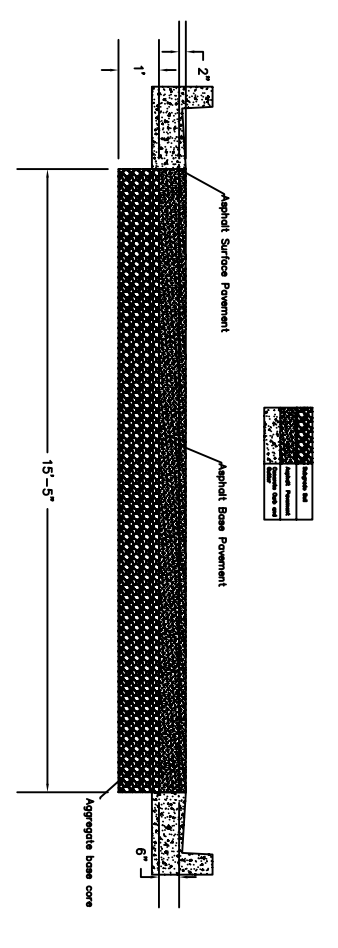
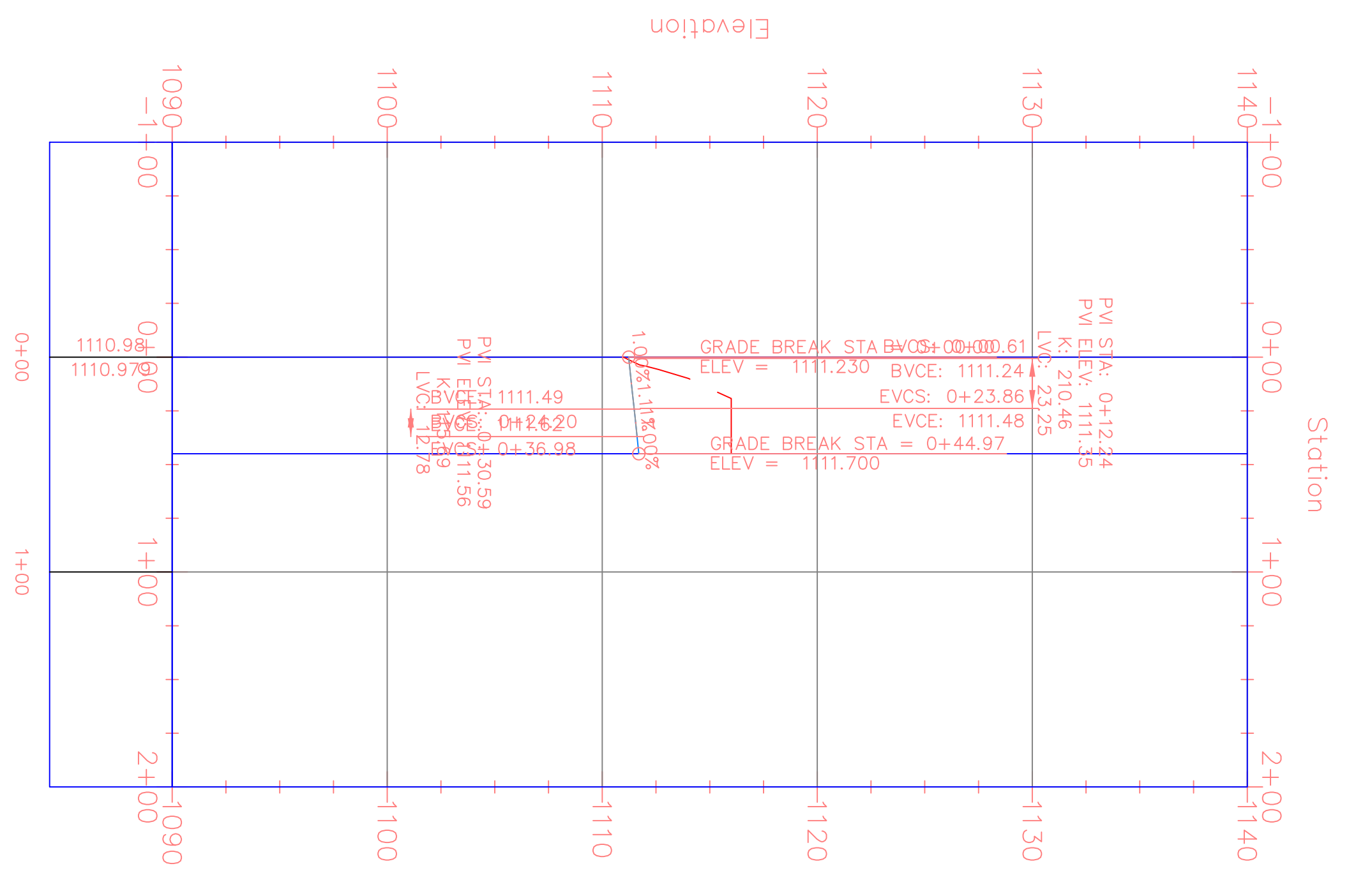
540 4th ST NE
 Mason city, IA

SHEET NAME
 Left Hori & Verti Align

SHEET NO.

No.9

Horizontal Right PROFILE



PROJECT:	CEE: 4850
DATE :	04/19/2018
DRAWN BY:	Noah Kalter
REVISION:	

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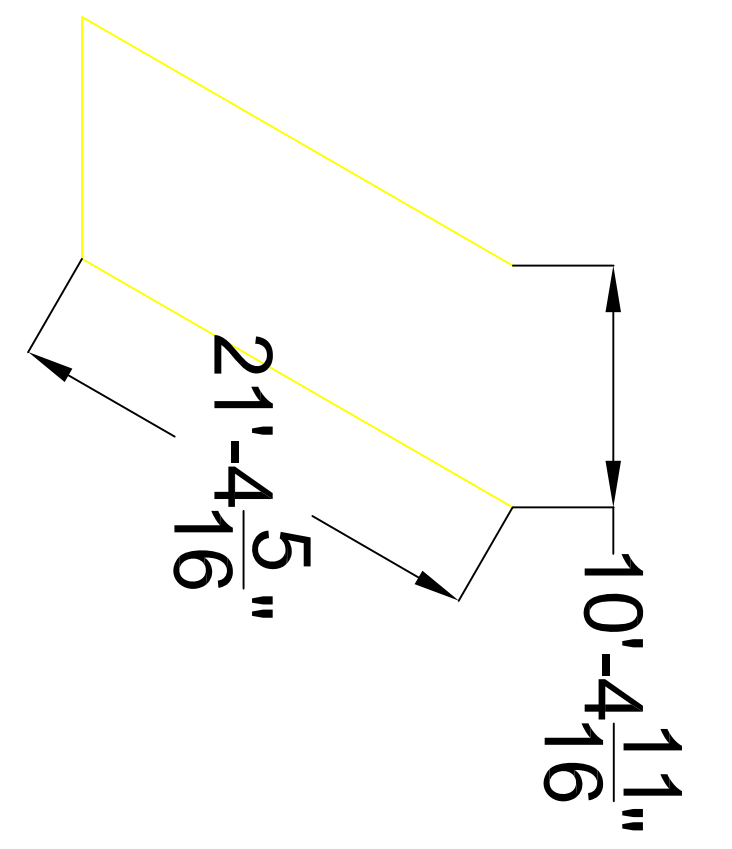
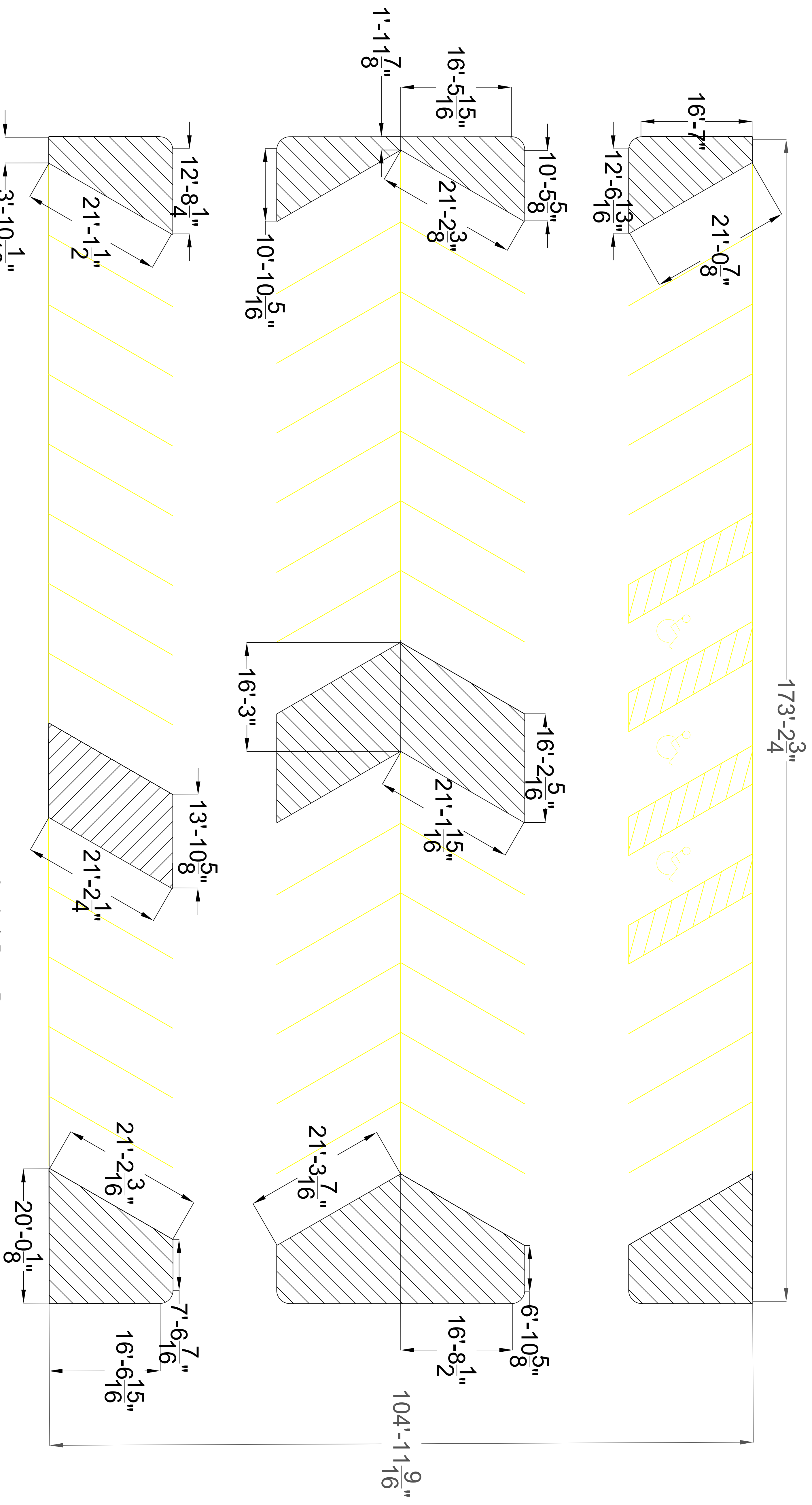
Condo Development

540 4th ST NE
 Mason city, IA

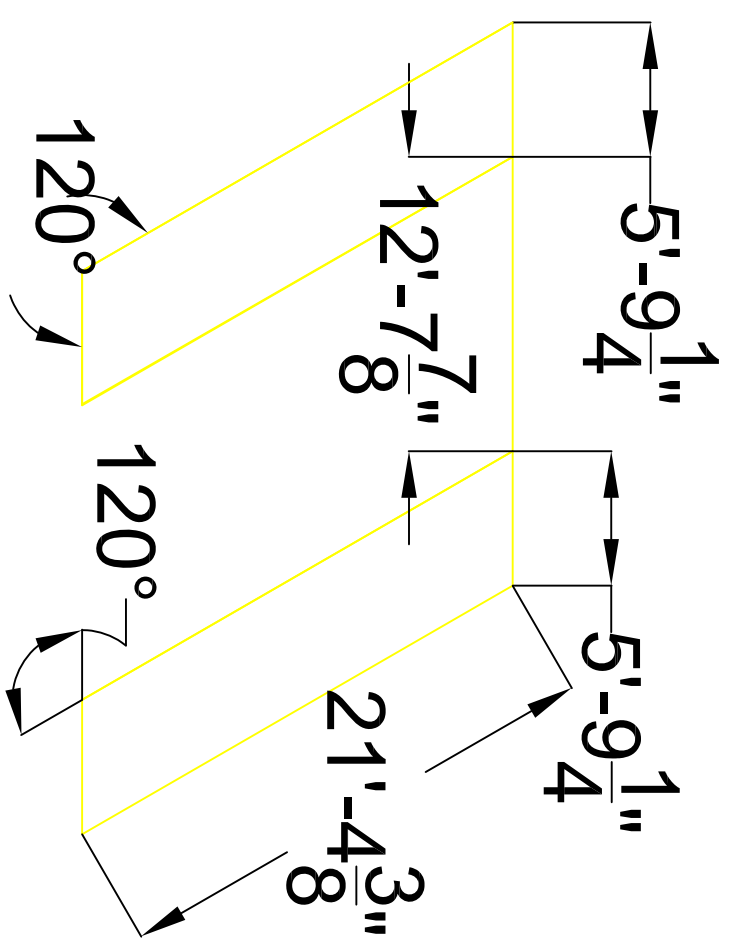
SHEET NAME
 Right Hori & Verti Alig

SHEET NO.

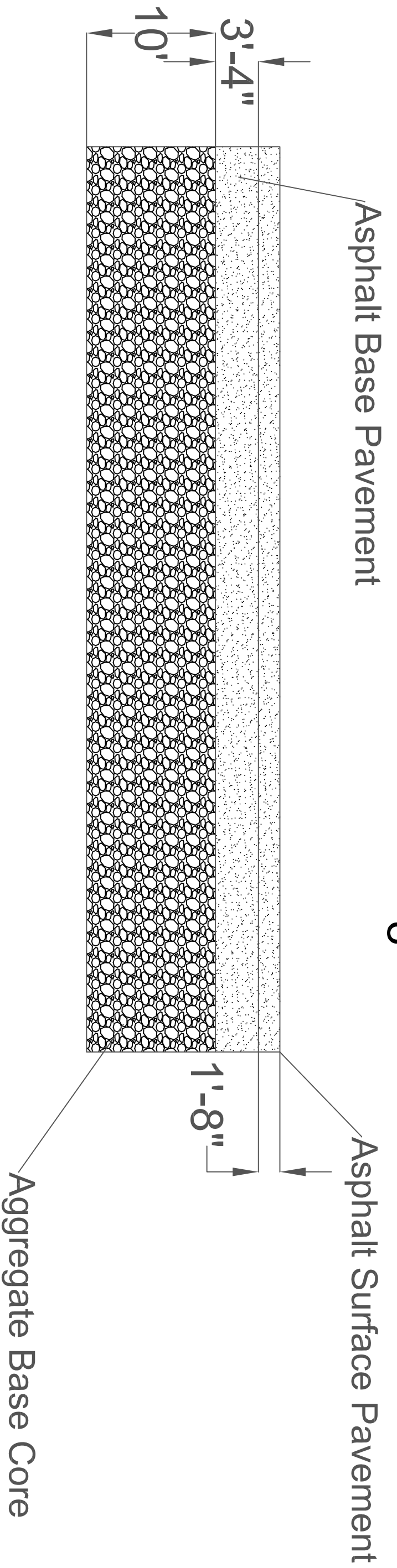
No.10



Single Stall



Handicap



Parking Lot Pavement Cross Section

PROJECT:	CEE: 4850
DATE :	05/04/2018
DRAWN BY:	Noah Kalter
REVISION:	

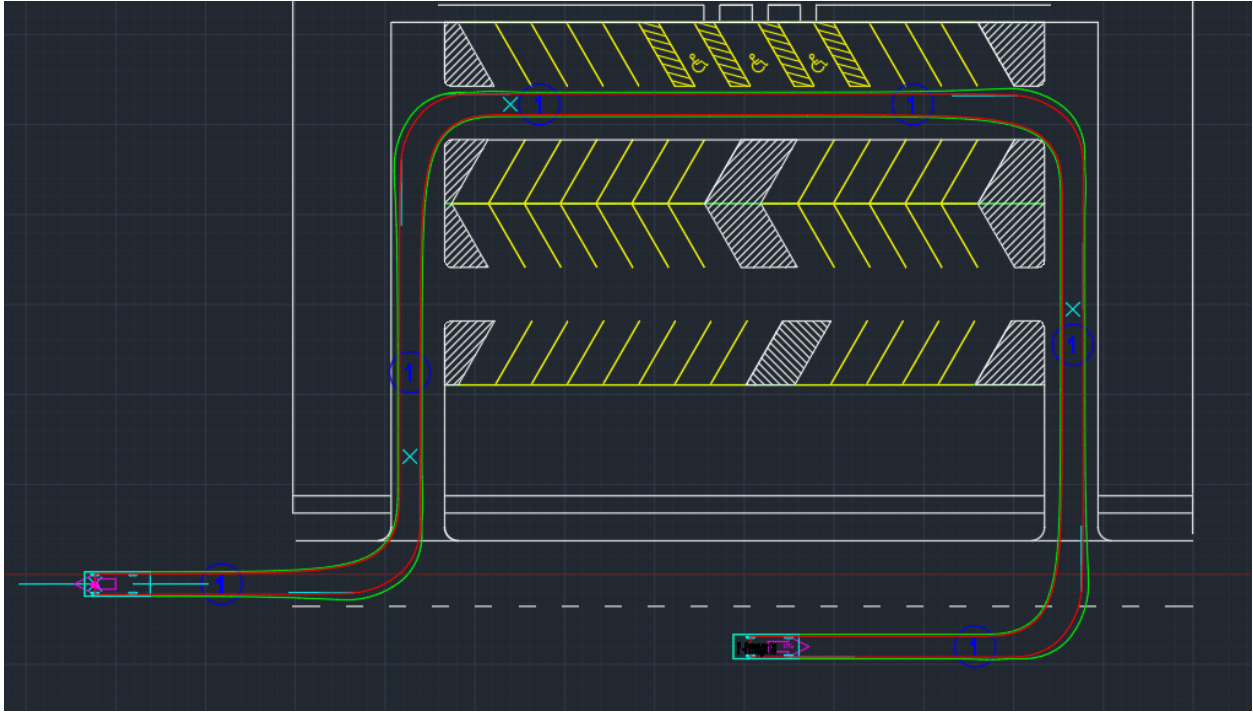
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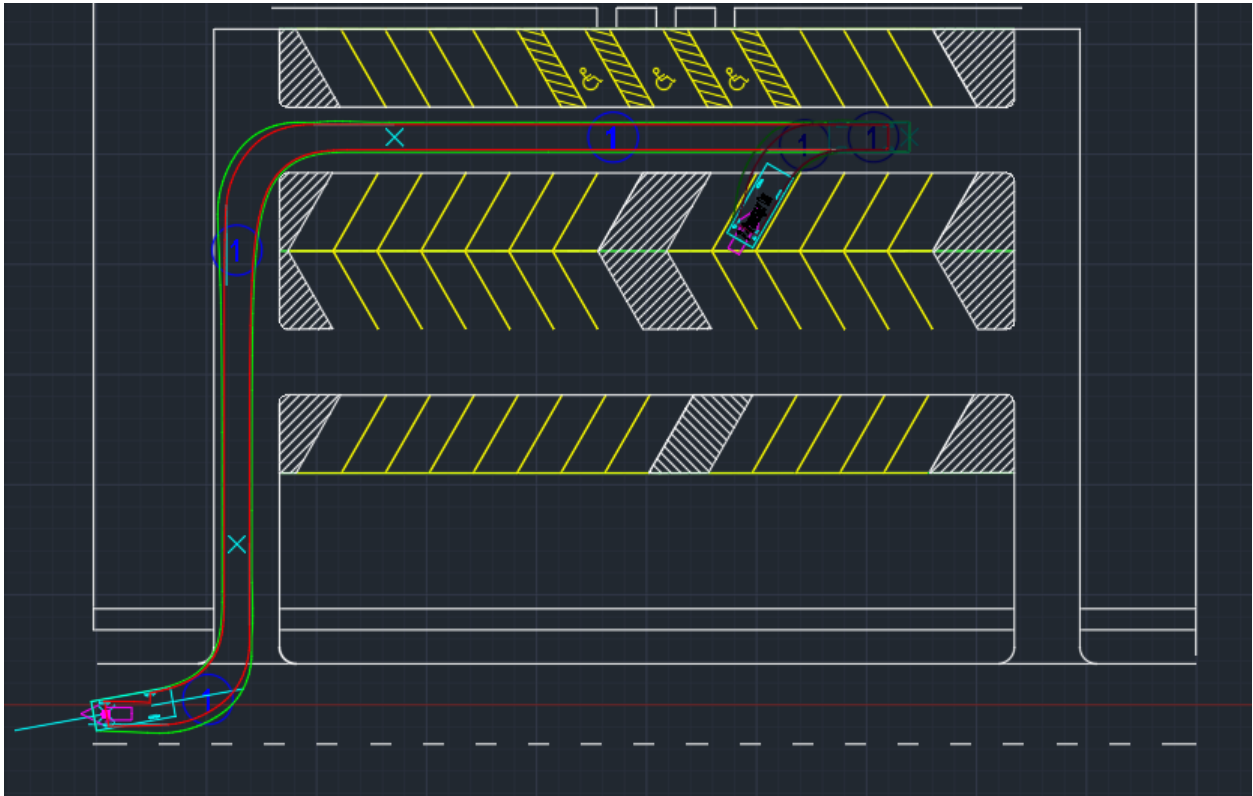
Condo Development
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SHEET NAME
 Parking Lot

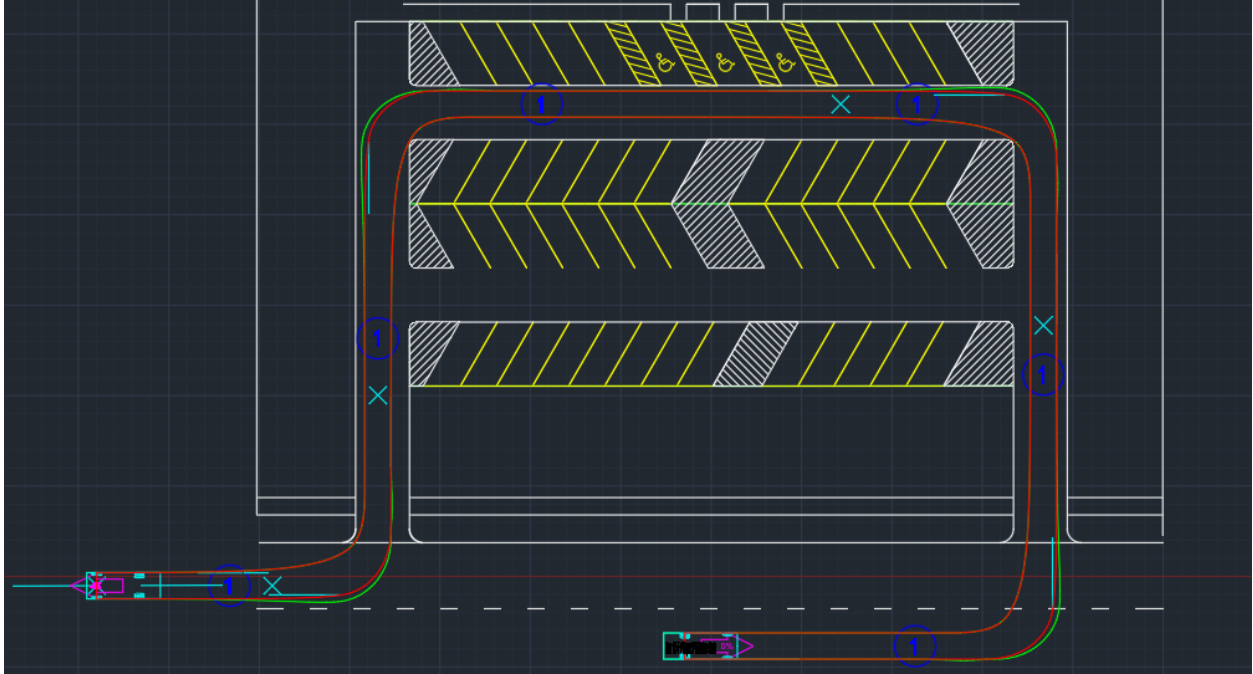
SHEET NO.
No.11



Passenger car going through the lanes



Parked passenger car backing out and proceeding to leave the lot



Garbage truck entering and exiting the parking lot